

FINAL DEVELOPMENT PLAN

KFC AT FIRESTONE CITY CENTRE

LOT 4, FIRESTONE CITY CENTRE SUBDIVISION FILING NO. 3

TITLE SHEET

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

SHEET 1 OF 21

SITE INFORMATION													
OWNER:	HARMAN MANAGEMENT CORPORATION 199 FIRST ST. #212 LOS ALTOS CA 94022												
TENANT:	KFC												
ZONE:	FUD												
LOT SIZE:	44,662 SF 1.14 ACRES												
BUILDING SQUARE FOOTAGE:	3,161 SF												
BUILDING TYPE:	VB NON SPRINKLED												
GROUP:	A2												
BUILDING HEIGHT:	26'-10"												
SETBACKS:	PROVIDED:												
FRONT YARD:	12'-0"												
REAR YARD:	82'-2 1/2"												
SIDE YARD:	27'-1"												
SIDE YARD:	141'-1 1/2"												
PARKING RATIO:	8 SPACES PER 1000 SF = 25												
PARKING PROVIDED:	<table border="1" style="display: inline-table; border-collapse: collapse;"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>PROVIDED</th> </tr> </thead> <tbody> <tr> <td>NEW PARKING:</td> <td style="text-align: center;">24</td> <td style="text-align: center;">32</td> </tr> <tr> <td>NEW HANDICAP PARKING:</td> <td style="text-align: center;">1</td> <td style="text-align: center;">2</td> </tr> <tr> <td>TOTAL COMBINED PARKING:</td> <td style="text-align: center;">25</td> <td style="text-align: center;">34</td> </tr> </tbody> </table>		REQUIRED	PROVIDED	NEW PARKING:	24	32	NEW HANDICAP PARKING:	1	2	TOTAL COMBINED PARKING:	25	34
	REQUIRED	PROVIDED											
NEW PARKING:	24	32											
NEW HANDICAP PARKING:	1	2											
TOTAL COMBINED PARKING:	25	34											
STALL SIZE:	9'-0"x19'-0" (STANDARD) 9'-0"x20'-0" (STANDARD) 9'-0"x20'-0" (HANDICAP) W/ 8'-0" VAN ACCESSIBLE ISLE												
BICYCLE PARKING:	4 PROVIDED												
BUILDING COVERAGE:	3,161 SF = 6.37%												
ASPHALT AND CONCRETE COVERAGE:	24,048 SF = 49.52%												
SIDEWALKS:	1,176 SF = 3.50%												
LANDSCAPE COVERAGE:	20,621 SF = 41.53%												
TURF AREA COVERAGE:	6,144 SF = 12.47%												
BED AREA COVERAGE:	6,765 SF = 13.82%												
DRAINAGE AREA (NO IRRIGATIONS):	1,668 SF = 15.44%												
FLOOR AREA RATIO:	0.06:1												
* PROJECT USE DESCRIPTION: NEW FAST FOOD RESTAURANT													

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FIRESTONE CITY CENTRE SUBDIVISION FILING NO. 3, LOT 4

LEGAL DESCRIPTION:

ALL OF LOT 4, FIRESTONE CITY CENTRE SUBDIVISION FILING NO. 3, AS PER THE PLAT RECORDED OCTOBER 1, 2010 AT RECEPTION NO. 3722547, TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

SAID PARCEL CONTAINS 44,662 SQUARE FEET, 1.14 ACRES MORE OR LESS

APPROVAL BLOCK

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE COLORADO THIS 30th DAY OF Nov., 2017 BY RESOLUTION NO. 17-33

Pal Soren MAYOR
Deah Vanarsdall TOWN CLERK

ACCEPTANCE BLOCK AND NOTARY

BY SIGNING THIS FDP, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL OF THE REQUIREMENTS AND INTENT SET FORTH HEREIN.

By *Travis Gutke* 11/3/17
 Travis Gutke, Construction Manager
 Harman Management Corporation Date

A notary public or other officer completing the certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

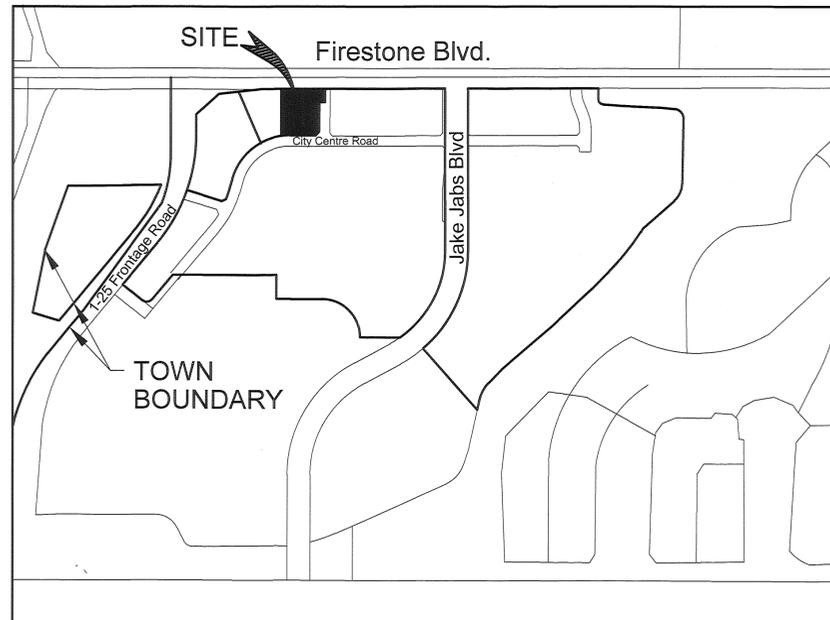
State of California
 County of Santa Clara

Subscribed and sworn to (or affirmed) before me on this day of November 30th, 2017

by Travis Gutke
 Proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.

Gandice Jane Lyle
 GANDICE JANE LYLE
 Commission # 2087748
 Notary Public - California
 Santa Clara County
 My Comm. Expires Oct 29, 2018

Signature: *Gandice Jane Lyle*



VICINITY MAP
 1"=1000'

PROJECT TEAM		
DESIGNER NEAR DESIGN & PLANNING, INC. 10701 MELODY DRIVE SUITE # 555 NORTHGLENN CO, 80234 (303) 451-1113 STEVEB@NEARDP.COM CONTACT: STEVE BROWN	APPLICANT/TENANT HARMAN MANAGEMENT CORP. 199 FIRST ST. #212 LOS ALTOS CA, 94022 (650)-941-5681 TRAVISG@HARMANS.COM CONTACT: TRAVIS GUTKE CIVIL/DRAINAGE ENGINEER PERCEPTION DESIGN GROUP 6901 SOUTH PIERCE ST. SUITE # 350 LITTLETON, CO 80128 (303) 232-8088 JDAVIDSON@PERCEPTIONDESIGNGROUP.COM CONTACT: JERRY DAVIDSON	SURVEYOR ENGINEERING SERVICES COMPANY 1300 SOUTH POTOMAC ST. #126 AURORA CO, 80012 (303) 337-1393 FAX (303) 337-7481 CONTACT: BRET MILLER LANDSCAPE ARCHITECT JUMP DESIGN 1733 S. CLARKSON ST. DENVER CO, 80210 (303) 282-0463 FAX (303) 282-0473 TOMJ@JUMPDESIGNCO.COM CONTACT: TOM JUMP
ELECTRICAL ENGINEER BIGHORN ENGINEERING 569 WESTGATE DR. SUITE #1 GRAND JUNCTION CO, 81505 (970) 241-8709 BLAINE@BIGHORNENG.COM CONTACT: BLAINE BUCK		

KFC @ FIRESTONE CITY CENTRE	
COVER SHEET	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	

NEAR DESIGN & PLANNING INC. CALIFORNIA

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 FIRESTONE COLORADO

JOB NO.: 16-KFC-004
 SCALE: NONE
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

APPROVED TENANT
 SHT. NO.
FDP-1

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE NARRATIVE SHEET SHEET 2 OF 21

NEAR
 DESIGN & PLANNING INC

PROJECT CONCEPT

THIS FINAL DEVELOPMENT PLAN (FDP) IS FOR THE KFC RESTAURANT AT THE FIRESTONE CITY CENTRE DEVELOPMENT, WHICH IS LOCATED WITHIN LOT 4 OF THE FIRESTONE CITY CENTRE SUBDIVISION, FILING NO. 3.

THE SITE IS PART OF A PREVIOUSLY APPROVED OVERALL FINAL DEVELOPMENT PLAN WHICH INCLUDED THE ROADWAY AND INFRASTRUCTURE IMPROVEMENTS FOR THE OVERALL FIRESTONE CITY CENTRE DEVELOPMENT. THE FDP PROVIDES SPECIFIC SITE CONFORMANCE TO THE SITE TRAFFIC ACCESS PLAN, LANDSCAPE PLAN, UTILITY AND DRAINAGE PLAN AND THE ARCHITECTURAL THEME OF THE SITE.

THE KFC RESTAURANT WILL HAVE A DRIVE-UP WINDOW AS WELL AS DINING ROOM SEATING TO OFFER DINING OPTIONS TO THE PATRONS. THIS PROJECT WILL PROVIDE A NEW FACILITY IN PLACE OF A VACANT LOT AND WILL CREATE A SOURCE OF TAX REVENUE TO THE TOWN OF FIRESTONE.

ENVIRONMENTAL IMPACT MITIGATION

THERE IS NO EVIDENCE OF RECOGNIZED ENVIRONMENTAL CONDITIONS IN CONNECTION WITH THIS SITE.

REFER TO THE "PHASE I ENVIRONMENTAL SITE ASSESSMENT UPDATE, 80-ACRE UNDEVELOPED PARCEL, SOUTHEAST CORNER OF STATE HIGHWAY 119 AND INTERSTATE 25, FIRESTONE, COLORADO", PREPARED BY KUMAR AND ASSOCIATES FOR QUADRANT CENTENNIAL PARTNERS, LLC, DATED JANUARY 16, 2006.

PRIVATE MAINTENANCE AND ENFORCEMENT

THE SITE WILL BE PRIVATELY MAINTAINED.

NECESSARY CROSS-ACCESS AND UTILITY EASEMENTS AS WELL AS AGREEMENTS FOR ANY COMMON ROADWAYS AND/OR ACCESS POINTS ARE PROVIDED AS PART OF THE FIRESTONE CITY CENTRE DEVELOPMENT.

PARKS, TRAILS & OPEN SPACE

THE PUBLIC LAND DEDICATION HAS BEEN PREVIOUSLY MET BY THE PREVIOUS PLATTING OF FIRESTONE CITY CENTRE.

A.D.A. COMPLIANCE

THIS FDP HAS BEEN DESIGNED TO THE BEST OF THE DESIGNER'S KNOWLEDGE AND ABILITIES TO COMPLY WITH THE AMERICAN'S WITH DISABILITIES ACT.

CONTROLS

THE DECLARATION OF RECIPROCAL EASEMENTS AND RESTRICTIONS ARE PROVIDED AS PART OF THE FIRESTONE CITY CENTRE DEVELOPMENT.

DRAINAGE

REFER TO THE FINAL DRAINAGE LETTER FOR A DESCRIPTION OF THE STORM DRAINAGE FOR THIS FDP. THE LETTER IS DATED FEBRUARY 8, 2008 AND WAS PREPARED BY ENGINEERING SERVICE COMPANY. THE LETTER IS FILED WITH THIS FDP.

THE SITE IS DESIGNED TO CONFORM TO THE APPROVED "FINAL DRAINAGE REPORT FOR FIRESTONE CITY CENTRE", DATED JULY 11, 2007 WHICH WAS PREPARED BY V3 COMPANIES OF COLORADO.

WATER DEDICATION

WATER DEDICATION WAS DETERMINED BASED ON INFORMATION PROVIDED BY THE APPLICANT. THE TOTAL AMOUNT OF CBT WATER TO BE DEDICATED TO THE TOWN WAS CALCULATED BASED ON ACRES OF IRRIGATED LANDSCAPING ON THE SITE AND TOTAL ESTIMATED DOMESTIC (IN-BUILDING) DEMAND. THE TOWN SHALL AT ALL TIMES HAVE THE RIGHT TO REQUIRE ADDITIONAL WATER DEDICATION IF ACTUAL CONSUMPTION EXCEEDS THIS CALCULATED ESTIMATE. IF THE TOWN DETERMINES THAT ADDITIONAL CBT WATER IS TO BE DEDICATED THE LOT OWNER SHALL PROVIDE THE WATER WITHIN 30 DAYS WRITTEN NOTICE BY THE TOWN. THE ADDITIONAL DEDICATION SHALL BE BASED ON THE TOWN'S THEN CURRENT WATER DEDICATION POLICIES.

WATER DEMAND CALCULATIONS

THE TOWN OF FIRESTONE HAS DETERMINED THAT THE REQUIRED CBT DEDICATION TO BE:

IRRIGATION DEMAND = .74 CBT SHARES

DOMESTIC DEMAND = 3.14 CBT SHARES

THE CBT DEDICATION FOR THIS FDP SHALL BE MET BY DEDUCTING 4 SHARES FROM THE 100 SHARE POOL ORIGINALLY CREATED BY THE FIRESTONE CITY CENTRE OF DP.

UTILITIES

NEW UTILITY MAIN LINES FOR WATER, SANITARY SEWER, STORM DRAIN, ELECTRIC AND GAS SERVICE WILL BE CONSTRUCTED AS PART OF THE APPROVED FDP. UTILITY INFRASTRUCTURE WAS COMPLETED AS PART OF THE OVERALL FINAL DEVELOPMENT PLAN FOR THE ENTIRE SITE AND SERVICES WILL BE EXTENDED TO THE PROPOSED BUILDING AS PART OF THIS FDP. A 1-1/2" WATER SERVICE LINE WILL PROVIDE WATER TO THE PROPOSED BUILDING AND A 4" SANITARY SERVICE LINE WILL BE EXTENDED TO PROVIDE SEWER SERVICE TO THE BUILDING.

ABOVE GROUND DRY UTILITIES WILL BE SCREENED WITH LANDSCAPING IN COORDINATION WITH THE UTILITY PROVIDER'S REQUIREMENTS FOR SETBACK OF PLANTING MATERIALS.

THERE ARE SEVERAL GAS LINES AND GAS WELLS ADJACENT TO THE SITE. ALL SITE DEVELOPMENT WORK WILL BE IN ACCORDANCE WITH STATE AND LOCAL ORDINANCES.

PARKING

A TOTAL OF 34 PARKING SPACES INCLUDING HANDICAP SPACES ARE PROVIDED AS PART OF THIS FDP.

ARCHITECTURE

THE ONE STORY BUILDING OF APPROXIMATELY 3,161 S.F. WILL CONSIST OF MATERIALS ALLOWED BY THE TOWN OF FIRESTONE DEVELOPMENT REGULATIONS, AND BE CONSISTENT WITH THE FIRESTONE CITY CENTRE "OUTLOT CRITERIA MANUAL AND DESIGN GUIDELINES" INCLUDING, BUT NOT LIMITED TO E.I.F.S. AND ARCHITECTURAL METAL AWNINGS AND TOWER ACCENT ROOF. LIGHT FIXTURES WILL BE USED TO ILLUMINATE AND ACCENT THE EXTERIOR OF THE BUILDING. ROOFTOP EQUIPMENT WILL BE 100% SCREENED BY THE SURROUNDING PARAPET WALLS. THE BUILDING WILL INCORPORATE THE FOLLOWING ENERGY EFFICIENT DESIGNS:

- ENERGY EFFICIENT LED LIGHTING IS USED FOR THE MAJORITY OF INTERIOR AND ALL EXTERIOR BUILDING MOUNTED FIXTURES.
- BUILDING SIGNAGE USES ENERGY EFFICIENT LED LIGHTING.
- REFLECTIVE ROOFING MATERIAL IS USED IN ORDER TO REDUCE HEAT ISLAND EFFECTS OF THE BUILDING AS WELL AS REDUCE COOLING COSTS AS THE SUN RAYS ARE REFLECTED AND THE HEAT IS NOT ABSORBED.

THE BUILDING HEIGHT IS DEPICTED FOR THIS FDP ON THE ELEVATION SHEETS, SHEETS 13 THRU 15.

SIGN PROGRAM

A SIGN PERMIT SHALL BE OBTAINED FROM THE TOWN OF FIRESTONE PRIOR TO CONSTRUCTION OF ANY SIGN. ALL SIGN PERMIT APPLICATIONS SHALL DEPICT SIGNS CONSISTENT WITH THIS FDP.

TRAFFIC CONTROL SIGNS:

IN ADDITION TYPICAL TRAFFIC CONTROL SIGNS AND ANCILLARY SIGNS WILL BE PROVIDED ON SITE. ALL SIGN LOCATIONS SHALL BE APPROVED BY THE TOWN ENGINEER PRIOR TO INSTALLATION.

TEMPORARY SIGNS:

- MAXIMUM SQUARE FOOTAGE OF TEMPORARY GRAND OPENING, NOW HIRING OR COMING SOON SIGNS ARE TO BE 96 SQUARE FEET EACH.
- ALL TEMPORARY SIGNS SHALL BE PLACED WITHIN THE PROPERTY LIMITS.

TEMPORARY SIGNS MAY BE DISPLAYED IN ACCORDANCE WITH TOWN ORDINANCES AND REGULATIONS, AS MAY FROM TIME TO TIME BE AMENDED. TWO GRAND OPENING SIGNS SHALL BE PERMITTED FOR THE INITIAL STORE OPENING AND SHALL BE ALLOWED FOR A ONE TIME PERIOD OF NO MORE THAN 45 DAYS. THE FINAL LOCATION OF THESE SIGNS SHALL BE APPROVED BY THE TOWN PRIOR TO INSTALLATION.

SETBACKS

PRINCIPAL BUILDING SETBACKS ARE AS DIMENSIONED ON THE FDP, SEE SITE PLAN SHEET 3.

ALL SETBACKS MEET FIRESTONE DEVELOPMENT REGULATIONS AND BUILDING CODES.

DEVELOPMENT SCHEDULE

APPROXIMATE CONSTRUCTION START DATE AUGUST 2017.

CIRCULATION SYSTEM

THERE IS DIRECT ACCESS TO THE KFC RESTAURANT SITE FROM THE "CITY CENTRE ROAD" THAT HAS BEEN CONSTRUCTED AS PART OF THE OVERALL FINAL DEVELOPMENT PLAN FOR THE ENTIRE DEVELOPMENT.

ZONING AND ALLOWED USES

LOT 4 OF THE FIRESTONE CITY CENTRE SUBDIVISION IS ZONED PLANNED UNIT DEVELOPMENT WITH THE REGIONAL COMMERCIAL/EMPLOYMENT CENTER

LAND USE CATEGORY, WHICH ALLOWS FOR A RESTAURANT WITH DRIVE-UP WINDOW USE.

SERVICE REQUIREMENTS

THIS DEVELOPMENT SHALL BE SERVED BY THE FOLLOWING UTILITY COMPANIES

- GAS - BLACK HILLS ENERGY
- ELECTRIC - UNITED POWER
- TELEPHONE - CENTURY LINK COMMUNICATIONS
- WATER - TOWN OF FIRESTONE
- SANITARY SEWER - ST. VRAIN SANITATION DISTRICT
- POLICE - TOWN OF FIRESTONE
- FIRE - FREDERICK-FIRESTONE FIRE PROTECTION DISTRICT
- RECREATION - CARBON VALLEY RECREATION DISTRICT

BUILDING ADDRESS LOT 4

4335 CITY CENTRE ROAD, FIRESTONE CO 80504

SITE OPERATIONS

THE HOURS OF OPERATION FOR THIS RESTAURANT WILL BE 10:00 AM TO 10:00 PM, 7 DAYS PER WEEK.

WATER METER TABLE		
QUANTITY	SIZE	TYPE
1	1-1/2"	COMMERCIAL
0	-	IRRIGATION

KFC @ FIRESTONE CITY CENTRE NARRATIVE SHEET

NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
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REVISION DATE:	

JOB NO.: 16-KFC-004
 SCALE: NONE
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

APPROVED
 TENANT

SHT. NO.

FDP-2

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

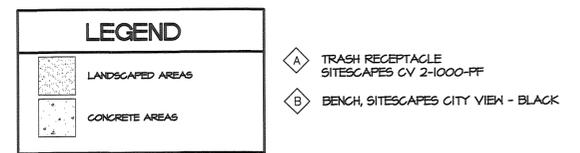
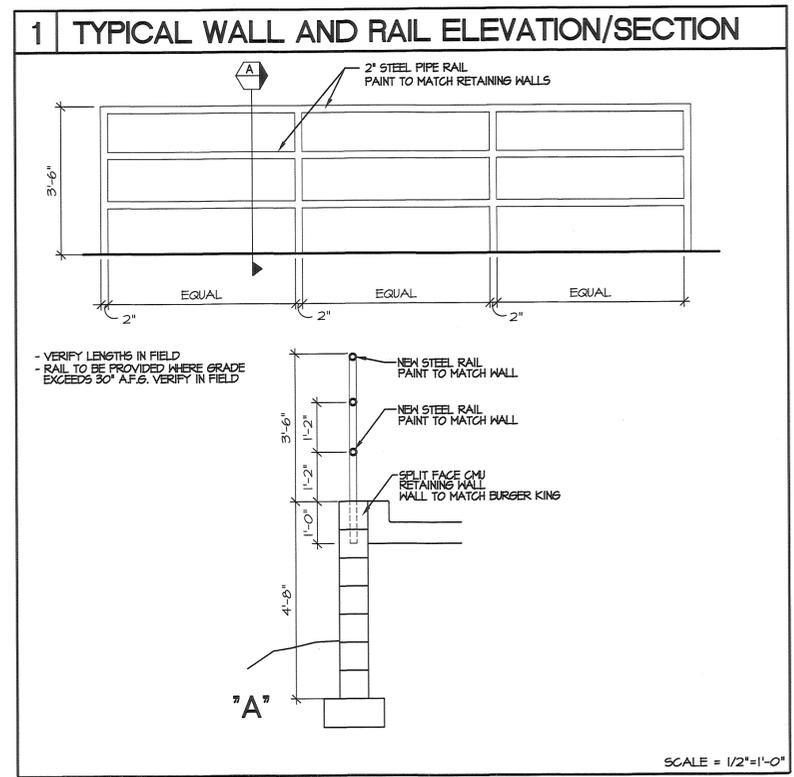
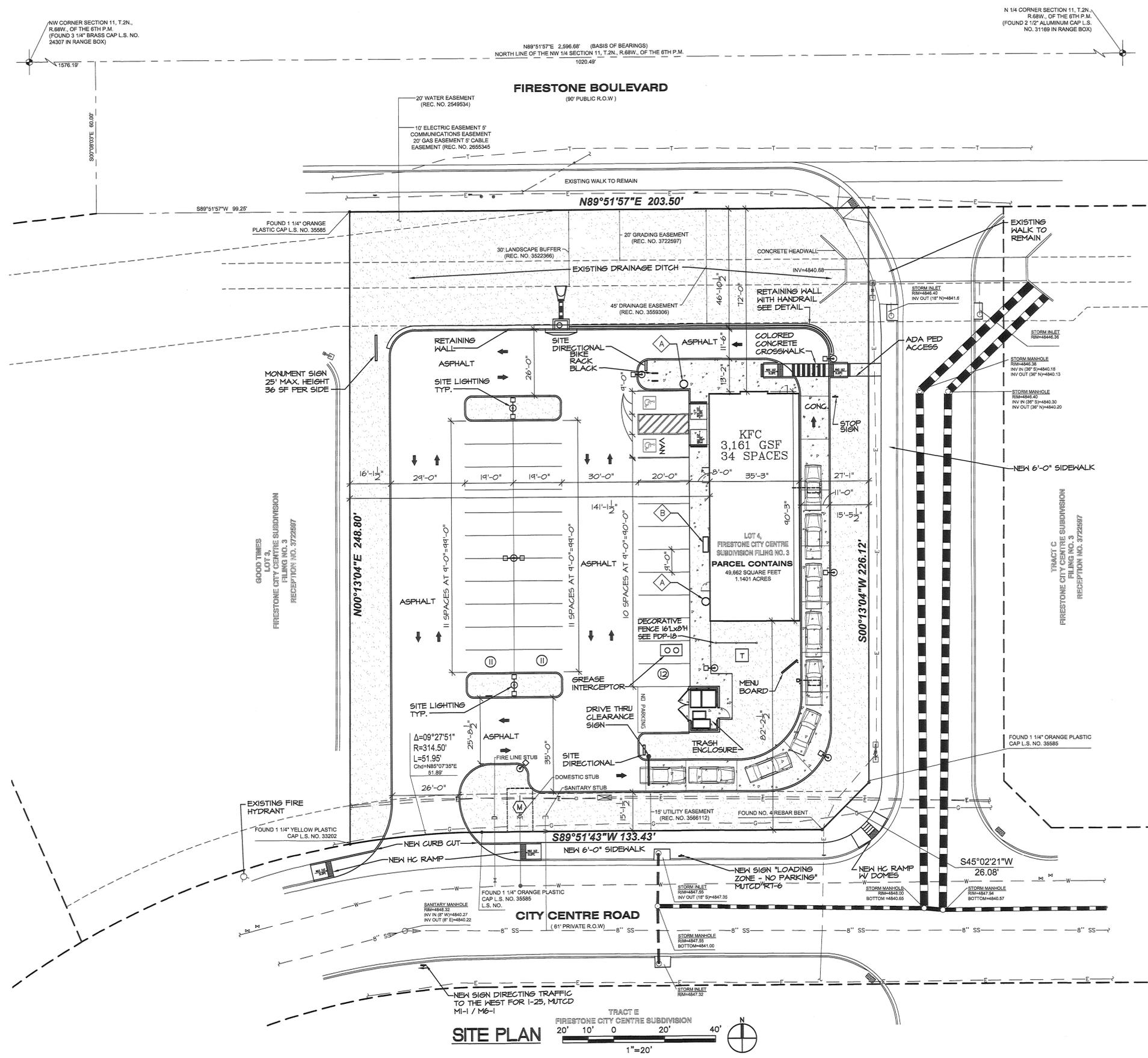
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF NEAR DESIGN AND PLANNING INC. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF NEAR DESIGN AND PLANNING INC. APPROVED AND PREPARED BY:

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 COLORADO
 FIRESTONE

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE SITE PLAN SHEET 3 OF 21

4360580 Pages: 3 of 21
12/15/2017 02:42 PM R Fee: \$213.00
Carly Komes, Plans and Records, Weld County, CO

NEAR
DESIGN & PLANNING INC.



HARMAN MANAGEMENT CORPORATION
199 FIRST ST. #212
LOS ALTOS CALIFORNIA

THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF HARMAN MANAGEMENT CORPORATION. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF HARMAN MANAGEMENT CORPORATION. CONTRACTORS AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS.

KFC
FIRESTONE CITY CENTRE
LOT 4
FIRESTONE COLORADO

JOB NO.: 16-KFC-004
SCALE: 1"=20'-0"
DATE: 3-7-17
DRAWN: SLB
CHECKED: EEN/KST

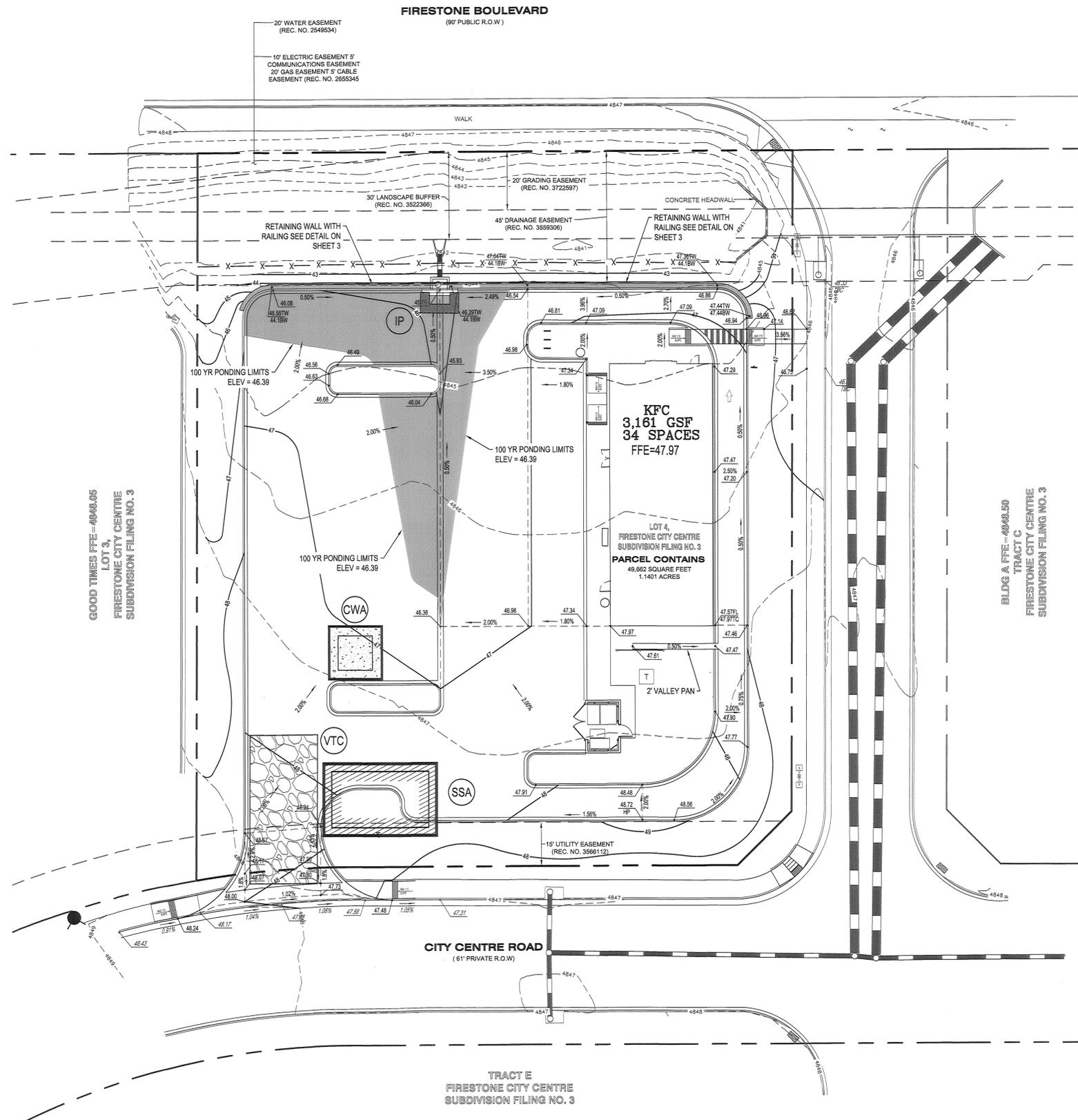
KFC @ FIRESTONE CITY CENTRE SITE PLAN		APPROVED TENANT
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE	
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN	
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SHEET 3 OF 21		SHT. NO. FDP-3

FINAL DEVELOPMENT PLAN

KFC AT FIRESTONE CITY CENTRE

GRADING AND EROSION CONTROL PLAN

SHEET 4 OF 21



LEGEND

- PROPERTY LINE
- 6260 EXISTING CONTOUR
- 59 PROPOSED CONTOUR
- BW FINISHED GRADE AT BOTTOM OF WALL
- TW TOP OF WALL
- 59.40 PROPOSED SPOT ELEVATION
- 58.42 EXISTING SPOT ELEVATION
- FL FLOWLINE ELEVATION
- TC TOP OF CURB ELEVATION
- SW SIDEWALK ELEVATION
- HP HIGH POINT ELEVATION
- LP LOW POINT ELEVATION
- 18" RCP EXISTING STORM SEWER WITH MANHOLE
- 18" STM PROPOSED STORM SEWER W/ MANHOLE AND INLET
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED CURB AND GUTTER
- CWA CONCRETE WASHOUT AREA
- IP INLET PROTECTION
- SF SILT FENCE
- SSA STABILIZED STAGING AREA
- VTC VEHICLE TRACKING CONTROL

NEAR
DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
199 FIRST ST. #212
LOS ALTOS CALIFORNIA

COLORADO

KFC
FIRESTONE CITY CENTRE
LOT 4

FIRESTONE

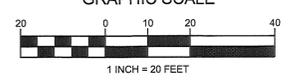
NOTES

1. ALL SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO CONSTRUCT ADA PATH AND RAMPS WITHIN ADA REQUIREMENTS.

BENCHMARK

TOWN OF FIRESTONE BENCHMARK 6 - CHISELED SQUARE ON THE SOUTH END OF THE HEAD WALL OF THE DITCH CROSSING UNDER I-25. ELEVATION: 4856.97 FEET (NGVD 1929 DATUM). THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

GRAPHIC SCALE



KFC @ FIRESTONE CITY CENTRE	
GRADING AND EROSION CONTROL PLAN	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
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PREPARATION DATE:	3-7-17
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REVISION DATE:	
REVISION DATE:	

JOB NO.: 16-KFC-004
 SCALE: 3-9-17
 DRAWN: JWD
 CHECKED: JWD

APPROVED TENANT	
SHT. NO.	
FDP-4	
SHEET 4 OF 21	

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE UTILITY PLAN SHEET 5 OF 21

LEGEND

---	PROPERTY LINE
--- 6260 ---	EXISTING CONTOUR
---	PROPOSED CONTOUR
BW	FINISHED GRADE AT BOTTOM OF WALL
TW	TOP OF WALL
1.59.40	PROPOSED SPOT ELEVATION
1.59.40	EXISTING SPOT ELEVATION
FL	FLOWLINE ELEVATION
TC	TOP OF CURB ELEVATION
SW	SIDEWALK ELEVATION
HP	HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
OHE	EXISTING OVERHEAD ELECTRIC
E/T/G/F/O	EXISTING ELECTRIC/TELEPHONE/GAS/FIBER LINE
ST	EXISTING STORM SEWER WITH MANHOLE
S	EXISTING SANITARY SEWER WITH MANHOLE
W	EXISTING WATERLINE WITH HYDRANT
18"STM	PROPOSED STORM SEWER W/ MANHOLE AND INLET
4"SAN	PROPOSED SANITARY SEWER W/ MANHOLE AND CLEANOUT
6"WTR	PROPOSED WATERLINE AND HYDRANT
1"WTR	PROPOSED WATER SERVICE LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	PROPOSED CURB AND GUTTER

ST. VRAIN SANITATION DISTRICT APPENDIX B GENERAL CONSTRUCTION NOTES

- DISTRICT SHALL REFER TO THE ST. VRAIN SANITATION DISTRICT IN THESE NOTES.
- DISTRICT'S ACCEPTANCE OF THESE PLANS IS VALID FOR ONE YEAR.
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE DISTRICT STANDARDS.
- CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION OR PRIOR TO RESUMING CONSTRUCTION AFTER A BREAK.
- SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, ASTM D3034-SDR35 OR AS INDICATED ON THE PLANS.
- ALL CONCRETE SHALL BE MINIMUM 4000 PSI AT 28 DAY STRENGTH.
- MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION OUTSIDE DIAMETER TO OUTSIDE DIAMETER BETWEEN WATER LINES AND ALL SEWER LINES AND MANHOLES.
- ALL SEWER MAINS CROSSING WATER MAINS WITH LESS THAN 18 INCHES OF SEPARATION SHALL BE ENCASED IN CONCRETE.
- RIM ELEVATIONS SHOWN ARE APPROXIMATE AND SHOULD NOT BE TAKEN AS FINAL. ALL MANHOLES SHALL BE FINAL ADJUSTED AFTER PAVING SUCH THAT THE RIM IS 1/4 TO 1/2 INCH BELOW FINISHED ASPHALT. MANHOLES IN UNPAVED AREAS SHALL BE SET SO THAT THE RIM IS 0.5' ABOVE FINISHED GRADE.
- INVERT DATA SHALL BE COLLECTED BY A LICENSED SURVEYOR ON EACH PIPE INVERT IN A MANHOLE. CENTER OF MANHOLE SURVEYING IS NOT ACCEPTABLE FOR SLOPE CALCULATIONS. RECORD DRAWINGS (ASBUILTS) MUST DEMONSTRATE CONFORMANCE TO DISTRICT STANDARDS.
- THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ACTUAL RECORD DRAWING DIMENSIONS AND DISTANCES AS WELL AS SERVICE LOCATIONS ON THESE PLANS AND SUBMITTING THEM TO THE ENGINEER FOR PREPARATION OF RECORD DRAWINGS. THESE DRAWINGS SHALL BE KEPT CURRENT AT ALL TIMES.
- BEFORE ANY CONSTRUCTION COMMENCES, A PLUG SHALL BE INSTALLED TO PREVENT DRAINAGE THROUGH THE NEW SEWER LINE FROM ENTERING THE EXISTING SEWER LINE. THIS PLUG WILL BE INSTALLED IN THE MANHOLE, WHICH CONNECTS NEW WORK WITH THE EXISTING AND NOT BE REMOVED UNTIL INITIAL ACCEPTANCE.
- UNDERDRAINS, IF INSTALLED, ARE THE RESPONSIBILITY OF THE DEVELOPER. DISTRICT ASSUMES NO LIABILITY FOR ANY PORTION OF OR ANY DAMAGE CAUSED BY UNDERDRAINS. ABSOLUTELY NO PART OF AN UNDERDRAIN SYSTEM, INCLUDING CLEAN OUTS, WILL BE ALLOWED INSIDE OF SANITARY SEWER MANHOLES. ALL UNDERDRAINS SHALL BE INSTALLED BELOW THE SANITARY SEWER AND OFFSET TO THE SIDE. PIPE MATERIAL SHALL BE DIFFERENT COLOR THAN SANITARY SEWER.
- NO SERVICE LATERALS SMALLER THAN 8 INCH IN DIAMETER SHALL ENTER MANHOLES.
- SERVICE CROSSINGS OF CURB SHALL BE MARKED WITH A CUT "S" IN CURB FACE. PAINT IS NOT ACCEPTABLE. SERVICE SHALL BE EXTENDED INTO THE LOT A MINIMUM OF 10 FEET.
- CONTRACTOR SHALL MARK THE END OF ALL SEWER SERVICES WITH A 2" X 4" BOARD WITH MINIMUM OF FOUR (4) FEET ABOVE GRADE, PAINTED GREEN.
- ALL PIPES SHALL HAVE SQUEEGIE (CDDOT #8 BEDDING) UNLESS OTHERWISE SHOWN OR THE DISTRICT MAY APPROVE AN ALTERNATE BEDDING IN SPECIAL CASES.
- CUT OFF WALLS WILL BE INSTALLED 10' DOWN STREAM OF EACH MANHOLE WHERE THE SUBDIVISION LINE CONNECTS TO THE EXISTING SANITARY SEWER MAIN LINE.
- THE WARRANTY BOND SHALL BE IN THE AMOUNT OF \$5,000.00 OR 15% OF THE TOTAL COST OF THE SEWER, WHICHEVER IS GREATER.
- PRIOR TO APPROVAL, ALL SANITARY SEWER PIPES SHALL BE PRESSURE-TESTED PER ASTM C924. ALL MANHOLES SHALL BE VACUUM-TESTED PER UNI-8-98.
- PRIOR TO REMOVAL OF PLUGS AT MANHOLES, PIPE SHALL BE JET-CLEANED AND VACUUMED TO REMOVE DEBRIS AND VIDEOED. NOTICE SHALL BE GIVEN TO THE DISTRICT INSPECTOR ONE (1) WEEK PRIOR TO CLEANING. INSPECTOR MUST BE PRESENT DURING THE OPERATION. ONCE APPROVAL HAS BEEN GIVEN BY INSPECTOR, PLUGS MAY ONLY BE REMOVED AFTER INITIAL ACCEPTANCE BY THE DISTRICT.
- THE FINAL RECORDED PLAT AND RECORDED ADDRESS PLAT SHALL BE PROVIDED TO THE DISTRICT FOR INITIAL ACCEPTANCE.
- TWENTY (20) MONTHS AFTER CONSTRUCTION AND PRIOR TO THE EXPIRATION OF WARRANTY, THE DEVELOPER SHALL CAMERA/VIDEO THE SANITARY SEWER LINES AND PROVIDE A DVD TO THE DISTRICT FOR REVIEW.

REVISED 1/2017

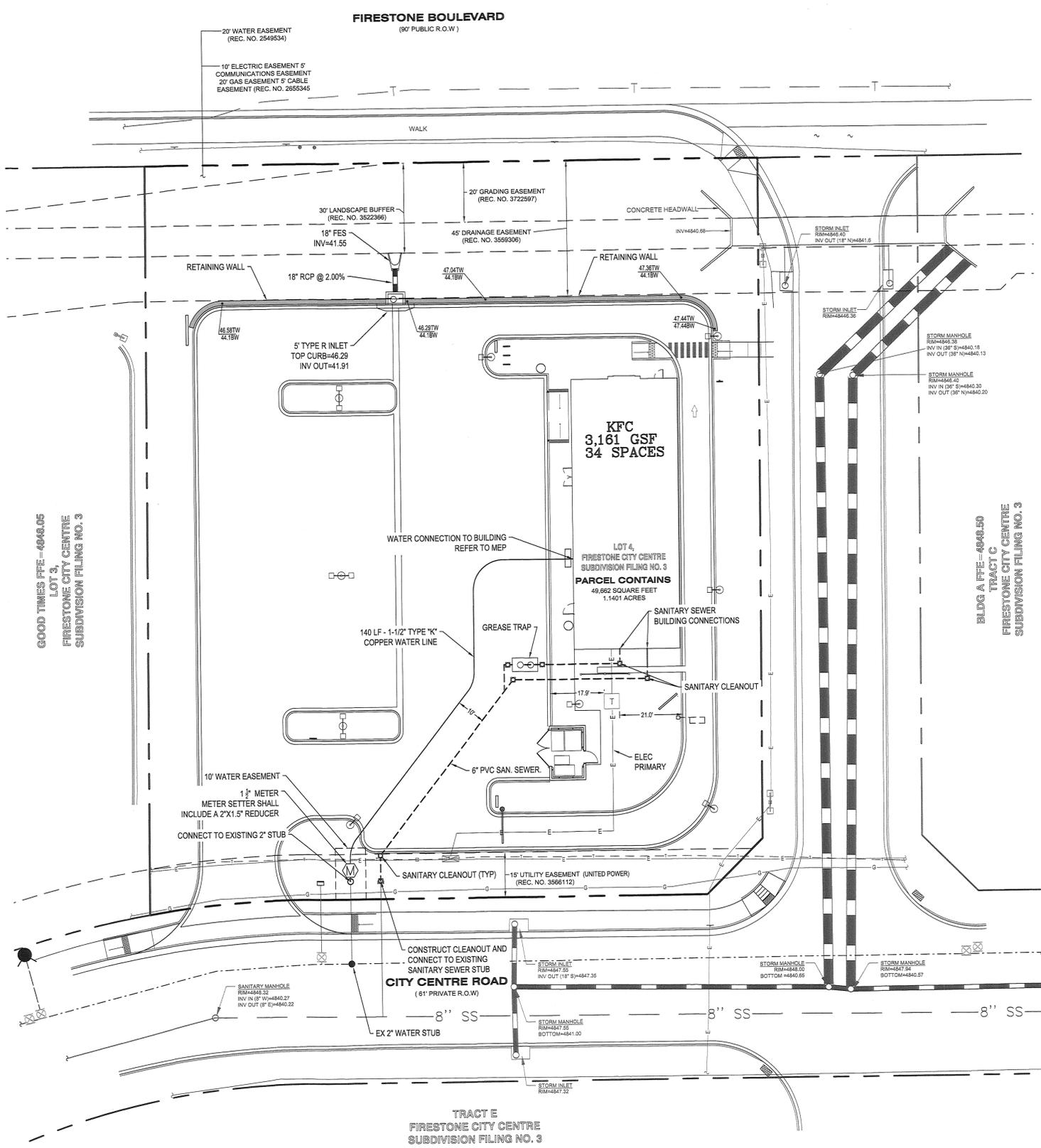
NOTES

- ALL SPOT ELEVATIONS ARE TO FLOWLINE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR TO CONSTRUCT ADA PATH AND RAMPS WITHIN ADA REQUIREMENTS.

BENCHMARK

TOWN OF FIRESTONE BENCHMARK 6 - CHISELED SQUARE ON THE SOUTH END OF THE HEAD WALL OF THE DITCH CROSSING UNDER I-26. ELEVATION: 4856.97 FEET (NGVD 1929 DATUM). THE CONTOURS SHOWN HEREON ARE AT ONE (1) FOOT INTERVALS.

GRAPHIC SCALE



HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 COLORADO
 FIRESTONE

JOB NO.: 16-KFC-004
 SCALE: 3-9-17
 DRAWN: JWD
 CHECKED: JWD

KFC @ FIRESTONE CITY CENTRE	
UTILITY PLAN	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	
SHT. NO.	
FDP-5	
SHEET 5 OF 21	

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE DETAIL SHEET SHEET 6 OF 21

NEAR
 DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

KFC
 FIRESTONE CITY CENTRE
 LOT 4

COLORADO
 FIRESTONE

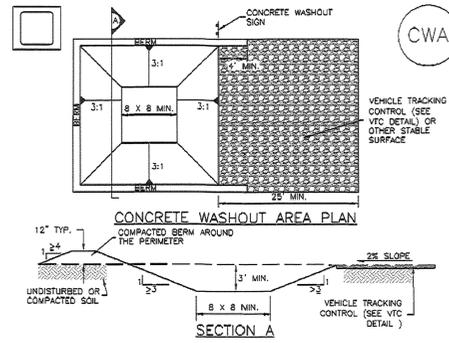
JOB NO.: 16-KFC-004
 SCALE: 3-9-17
 DATE: JWD
 DRAWN: JWD
 CHECKED: JWD

KFC @ FIRESTONE CITY CENTRE
DETAIL SHEET

NAME OF SUBMITTAL: KFC @ FIRESTONE CITY CENTRE	APPROVED TENANT
TYPE OF SUBMITTAL: FINAL DEVELOPMENT PLAN	
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE: 3-7-17	SHT. NO.
REVISION DATE: 5-22-17	FDP-6
REVISION DATE: 8-10-17	
REVISION DATE:	

SHEET 6 OF 21

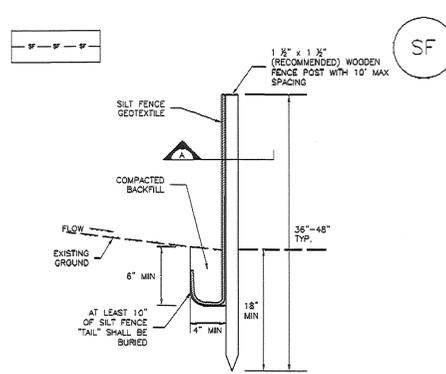
Concrete Washout Area (CWA) MM-1



- CWA-1. CONCRETE WASHOUT AREA**
- CWA INSTALLATION NOTES**
- SEE PLAN VIEW FOR CWA INSTALLATION LOCATION.
 - DO NOT LOCATE AN UNLINED CWA WITHIN 400' OF ANY NATURAL DRAINAGE PATHWAY OR WATERBODY. DO NOT LOCATE WITHIN 1,000' OF ANY WELLS OR DRINKING WATER SOURCES. IF SITE CONSTRAINTS MAKE THIS INFEASIBLE, OR IF HIGHLY PERMEABLE SOILS EXIST ON SITE, THE CWA MUST BE INSTALLED WITH AN IMPERMEABLE LINER (16 MIL MIN. THICKNESS) OR SURFACE STORAGE ALTERNATIVES USING PREFABRICATED CONCRETE WASHOUT DEVICES OR A LINED ABOVE GROUND STORAGE ARE SHOULD BE USED.
 - THE CWA SHALL BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE.
 - CWA SHALL INCLUDE A FLAT SUBSURFACE PIT THAT IS AT LEAST 8' BY 8' SLOPES LEADING OUT OF THE SUBSURFACE PIT SHALL BE 3:1 OR FLATTER. THE PIT SHALL BE AT LEAST 3' DEEP.
 - BERM SURROUNDING SIDES AND BACK OF THE CWA SHALL HAVE MINIMUM HEIGHT OF 1'.
 - VEHICLE TRACKING PAD SHALL BE SLOPED 2% TOWARDS THE CWA.
 - SIGNS SHALL BE PLACED AT THE CONSTRUCTION ENTRANCE, AT THE CWA, AND ELSEWHERE AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CWA TO OPERATORS OF CONCRETE TRUCKS AND PUMP RIGS.
 - USE EXCAVATED MATERIAL FOR PERIMETER BERM CONSTRUCTION.

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 Urban Storm Drainage Criteria Manual Volume 3

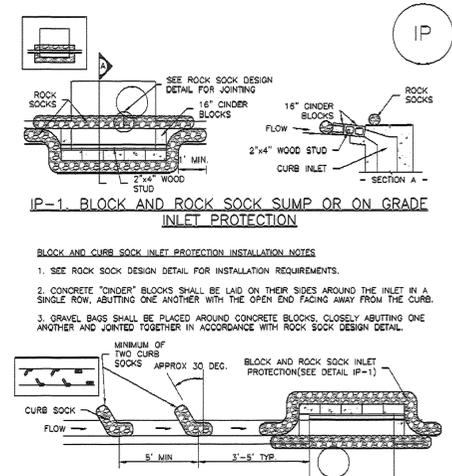
Silt Fence (SF) SC-1



- SILT FENCE**
- SECTION A**
- SF-1. SILT FENCE**
- POSTS SHALL OVERLAP AT JOINTS SO THAT NO GAPS EXIST IN SILT FENCE
- POSTS SHALL BE JOINED AS SHOWN, THEN ROTATED 180 DEG. IN DIRECTION SHOWN AND DRIVEN INTO THE GROUND
- THICKNESS OF GEOTEXTILE HAS BEEN ENLARGED, TYP

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Inlet Protection (IP) SC-6



- IP-1. BLOCK AND ROCK SOCK SUMP OR ON GRADE INLET PROTECTION**
- BLOCK AND CURB SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL FOR INSTALLATION REQUIREMENTS.
 - CONCRETE "CORDER" BLOCKS SHALL BE LAID ON THEIR SIDES AROUND THE INLET IN A SINGLE ROW, ABUTTING ONE ANOTHER WITH THE OPEN END FACING AWAY FROM THE CURB.
 - GRAVEL BAGS SHALL BE PLACED AROUND CONCRETE BLOCKS, CLOSELY ABUTTING ONE ANOTHER AND JOINTED TOGETHER IN ACCORDANCE WITH ROCK SOCK DESIGN DETAIL.
- IP-2. CURB ROCK SOCKS UPSTREAM OF INLET PROTECTION**
- CURB ROCK SOCK INLET PROTECTION INSTALLATION NOTES**
- SEE ROCK SOCK DESIGN DETAIL INSTALLATION REQUIREMENTS.
 - PLACEMENT OF THE SOCK SHALL BE APPROXIMATELY 30 DEGREES FROM PERPENDICULAR IN THE OPPOSITE DIRECTION OF FLOW.
 - SOCKS ARE TO BE FLUSH WITH THE CURB AND SPACED A MINIMUM OF 5 FEET APART.
 - AT LEAST TWO CURB SOCKS IN SERIES ARE REQUIRED UPSTREAM OF ON-GRADE INLETS.

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Concrete Washout Area (CWA) MM-1

- CWA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - THE CWA SHALL BE REPAIRED, CLEANED, OR ENLARGED AS NECESSARY TO MAINTAIN CAPACITY FOR CONCRETE WASTE. CONCRETE MATERIALS ACCUMULATED IN PIT, SHALL BE REMOVED ONCE THE MATERIALS HAVE REACHED A DEPTH OF 2'.
 - CONCRETE WASHOUT WATER, WASTED PIECES OF CONCRETE AND ALL OTHER DEBRIS IN THE SUBSURFACE PIT SHALL BE TRANSPORTED FROM THE JOB SITE IN A WATER-TIGHT CONTAINER AND DISPOSED OF PROPERLY.
 - THE CWA SHALL REMAIN IN PLACE UNTIL ALL CONCRETE FOR THE PROJECT IS PLACED.
 - WHEN THE CWA IS REMOVED, COVER THE DISTURBED AREA WITH TOP SOIL, SEED AND MULCH OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM DOUGLAS COUNTY, COLORADO AND THE CITY OF PARKER, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Silt Fence (SF) SC-1

- SILT FENCE INSTALLATION NOTES**
- SILT FENCE MUST BE PLACED AWAY FROM THE TOE OF THE SLOPE TO ALLOW FOR WATER PONDING. SILT FENCE AT THE TOE OF A SLOPE SHOULD BE INSTALLED IN A FLAT LOCATION AT LEAST SEVERAL FEET (2-5 FT) FROM THE TOE OF THE SLOPE TO ALLOW ROOM FOR PONDING AND DEPOSITION.
 - A UNIFORM 6" X 4" ANCHOR TRENCH SHALL BE EXCAVATED USING TRENCHER OR SILT FENCE INSTALLATION DEVICE. NO ROAD GRADERS, BACKHOES, OR SIMILAR EQUIPMENT SHALL BE USED.
 - COMPACT ANCHOR TRENCH BY HAND WITH A "JUMPING JACK" OR BY WHEEL ROLLING. COMPACTION SHALL BE SUCH THAT SILT FENCE RESISTS BEING PULLED OUT OF ANCHOR TRENCH BY HAND.
 - SILT FENCE SHALL BE PULLED TIGHT AS IT IS ANCHORED TO THE STAKES; THERE SHOULD BE NO NOTICEABLE SAG BETWEEN STAKES AFTER IT HAS BEEN ANCHORED TO THE STAKES.
 - SILT FENCE FABRIC SHALL BE ANCHORED TO THE STAKES USING 1" HEAVY DUTY STAPLES OR NAILS WITH 1" HEADS. STAPLES AND NAILS SHOULD BE PLACED 3" ALONG THE FABRIC DOWN THE STAKE.
 - AT THE END OF A RUN OF SILT FENCE ALONG A CONTOUR, THE SILT FENCE SHOULD BE TURNED PERPENDICULAR TO THE CONTOUR TO CREATE A "J-HOOK." THE "J-HOOK" EXTENDING PERPENDICULAR TO THE CONTOUR SHOULD BE OF SUFFICIENT LENGTH TO KEEP RUNOFF FROM FLOWING AROUND THE END OF THE SILT FENCE (TYPICALLY 10' - 20').
 - SILT FENCE SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
- SILT FENCE MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF THE SILT FENCE SHALL BE REMOVED AS NEEDED TO MAINTAIN THE FUNCTIONALITY OF THE BMP, TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 6".
 - REPAIR OR REPLACE SILT FENCE WHEN THERE ARE SIGNS OF WEAR, SUCH AS SAGGING, TEARING, OR COLLAPSE.
 - SILT FENCE IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION, OR IS REPLACED BY AN EQUIVALENT PERIMETER SEDIMENT CONTROL BMP.
 - WHEN SILT FENCE IS REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDING AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

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Inlet Protection (IP) SC-6

- GENERAL INLET PROTECTION INSTALLATION NOTES**
- SEE PLAN VIEW FOR:
 - LOCATION OF INLET PROTECTION.
 - TYPE OF INLET PROTECTION (IP-1, IP-2, IP-3, IP-4, IP-5, IP-6)
 - INLET PROTECTION SHALL BE INSTALLED PROMPTLY AFTER INLET CONSTRUCTION OR PAVING IS COMPLETE (TYPICALLY WITHIN 48 HOURS). IF A RAINFALL/RUNOFF EVENT IS FORECAST, INSTALL INLET PROTECTION PRIOR TO ONSET OF EVENT.
 - MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- INLET PROTECTION MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - SEDIMENT ACCUMULATED UPSTREAM OF INLET PROTECTION SHALL BE REMOVED AS NECESSARY TO MAINTAIN BMP EFFECTIVENESS, TYPICALLY WHEN STORAGE VOLUME REACHES 50% OF CAPACITY, A DEPTH OF 6" WHEN SILT FENCE IS USED, OR 1/4 OF THE HEIGHT FOR STRAW BALES.
 - INLET PROTECTION IS TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED, UNLESS THE LOCAL JURISDICTION APPROVES EARLIER REMOVAL OF INLET PROTECTION IN STREETS.
 - WHEN INLET PROTECTION AT AREA INLETS IS REMOVED, THE DISTURBED AREA SHALL BE COVERED WITH TOP SOIL, SEEDING AND MULCHED, OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.
- (DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)
- NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF INLET PROTECTION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY PROPRIETARY INLET PROTECTION METHODS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY INLET PROTECTION. HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.
- NOTE: SOME MUNICIPALITIES DISCOURAGE OR PROHIBIT THE USE OF STRAW BALES FOR INLET PROTECTION. CHECK WITH LOCAL JURISDICTION TO DETERMINE IF STRAW BALE INLET PROTECTION IS ACCEPTABLE.

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FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE DETAIL SHEET SHEET 7 OF 21

NEAR
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HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212

CALIFORNIA

LOS ALTOS

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COLORADO

KFC
 FIRESTONE CITY CENTRE
 LOT 4

FIRESTONE

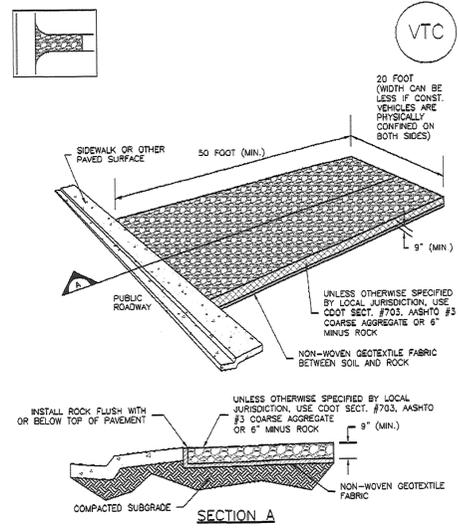
JOB NO.: 16-KFC-004
 SCALE: 3-9-17
 DRAWN: JWD
 CHECKED: JWD

APPROVED
 TENANT

SHT. NO.

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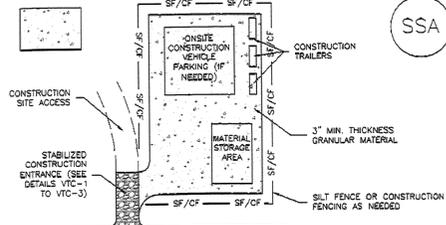
Vehicle Tracking Control (VTC) SM-4



VTC-1. AGGREGATE VEHICLE TRACKING CONTROL

November 2010 Urban Drainage and Flood Control District
 Urban Storm Drainage Criteria Manual Volume 3 VTC-3

Stabilized Staging Area (SSA) SM-6

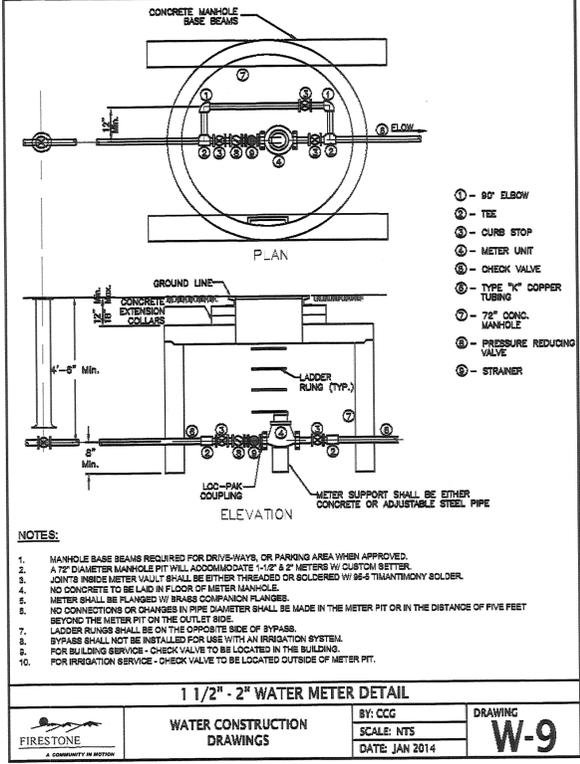


SSA-1. STABILIZED STAGING AREA

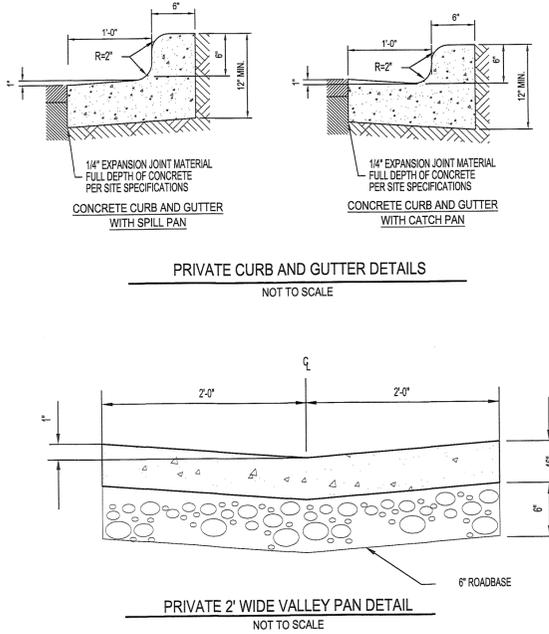
- STABILIZED STAGING AREA INSTALLATION NOTES**
- SEE PLAN VIEW FOR - LOCATION OF STAGING AREA(S). - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
 - STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
 - STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
 - THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
 - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
 - ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

- STABILIZED STAGING AREA MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

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1 1/2" - 2" WATER METER DETAIL
 WATER CONSTRUCTION DRAWINGS
 BY: CCG
 SCALE: NTS
 DATE: JAN 2014
 DRAWING W-9



PRIVATE 2' WIDE VALLEY PAN DETAIL
 NOT TO SCALE

SM-4 Vehicle Tracking Control (VTC)

- STABILIZED CONSTRUCTION ENTRANCE/EXIT INSTALLATION NOTES**
- SEE PLAN VIEW FOR - LOCATION OF CONSTRUCTION ENTRANCE(S)/EXIT(S). - TYPE OF CONSTRUCTION ENTRANCE(S)/EXIT(S) (WITH/WITHOUT WHEEL WASH, CONSTRUCTION MAT OR TRM).
 - CONSTRUCTION MAT OR TRM STABILIZED CONSTRUCTION ENTRANCES ARE ONLY TO BE USED ON SHORT DURATION PROJECTS (TYPICALLY RANGING FROM A WEEK TO A MONTH) WHERE THERE WILL BE LIMITED VEHICULAR ACCESS.
 - A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE LOCATED AT ALL ACCESS POINTS WHERE VEHICLES ACCESS THE CONSTRUCTION SITE FROM PAVED RIGHT-OF-WAYS.
 - STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
 - A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF ROCK.
 - UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- STABILIZED CONSTRUCTION ENTRANCE/EXIT MAINTENANCE NOTES**
- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
 - FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
 - WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
 - ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY TO THE STABILIZED ENTRANCE/EXIT TO MAINTAIN A CONSISTENT DEPTH.
 - SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED THROUGHOUT THE DAY AND AT THE END OF THE DAY BY SHOVELING OR SWEEPING. SEDIMENT MAY NOT BE WASHED DOWN STORM SEWER DRAINS.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM CITY OF BROOMFIELD, COLORADO, NOT AVAILABLE IN AUTOCAD)

VTC-6 Urban Drainage and Flood Control District
 Urban Storm Drainage Criteria Manual Volume 3 November 2010

SM-6 Stabilized Staging Area (SSA)

- STABILIZED STAGING AREA MAINTENANCE NOTES**
- STABILIZED STAGING AREA SHALL BE ENLARGED IF NECESSARY TO CONTAIN PARKING, STORAGE, AND UNLOADING/LOADING OPERATIONS.
 - THE STABILIZED STAGING AREA SHALL BE REMOVED AT THE END OF CONSTRUCTION. THE GRANULAR MATERIAL SHALL BE REMOVED OR, IF APPROVED BY THE LOCAL JURISDICTION, USED ON SITE, AND THE AREA COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY LOCAL JURISDICTION.
- NOTE: MANY MUNICIPALITIES PROHIBIT THE USE OF RECYCLED CONCRETE AS GRANULAR MATERIAL FOR STABILIZED STAGING AREAS DUE TO DIFFICULTIES WITH RE-ESTABLISHMENT OF VEGETATION IN AREAS WHERE RECYCLED CONCRETE WAS PLACED.
- NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.
- (DETAILS ADAPTED FROM DOUGLAS COUNTY, COLORADO, NOT AVAILABLE IN AUTOCAD)

SSA-4 Urban Drainage and Flood Control District
 Urban Storm Drainage Criteria Manual Volume 3 November 2010

GENERAL METER NOTES

- LOCATION OF THE METER TO BE ESTABLISHED BY THE DEVELOPMENT ENGINEER.
- ALL SETTINGS MUST BE INSPECTED BY THE RESIDENT PROJECT REPRESENTATIVE.
- IF THE STREET OR GROUND IS NOT TO OFFICIAL GRADE AT THE TIME OF INSTALLATION OF THE METER, THE OWNER MUST RAISE OR LOWER THE METER VAULT WHEN THE FINAL GRADE IS ESTABLISHED.
- LEADED JOINTS AND GALVANIZED PIPING SHALL NOT BE ALLOWED INSIDE THE METER VAULTS.
- A BYPASS IS TO BE INSTALLED ON 1-1/2" AND LARGER METERS UNLESS OTHERWISE SPECIFIED.
- THE SERVICE LINE THROUGH AND ON BOTH SIDES OF THE METER PIT MUST BE OF THE SAME MATERIAL.
- NO CONNECTIONS SHALL BE MADE IN THE METER PIT. SPRINKLER CONNECTIONS MUST BE MADE MORE THAN FIVE (5) FEET FROM THE METER PIT ON THE DOWNSTREAM SIDE.
- GATE VALVES:
 A. ALL GATE VALVES UNDER 3" FOR USE W/COPPER PIPE SHALL BE ALL BRONZE, W/ NON-RISING STEMS AND SOLID WEDGE DISC, MANUFACTURED IN ACCORDANCE WITH A.S.T.M. SPEC. B82 AND FEDERAL SPEC. W.W.-V-64 CLASS A, 125PSI W.S.P., 200PSI W.O.G. OR CURB STOPS IN ACCORDANCE WITH AWWA C800 AND MS-23 OF THE MATERIAL SPECIFICATIONS.
 B. ALL GATE VALVES 3" AND LARGER SHALL CONFORM WITH THE TOWN OF FIRESTONE'S STANDARD SPECIFICATIONS.
- ALL DRESSER (OR APPROVED EQUAL) COUPLINGS SHALL HAVE THE PIPE STOP REMOVED.

WATERMETER NOTES
 WATER CONSTRUCTION DRAWINGS
 BY: CCG
 SCALE: NTS
 DATE: JAN 2014
 DRAWING W-10

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE DETAIL SHEET SHEET 8 OF 21

DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

COLORADO

KFC
 FIRESTONE CITY CENTRE
 LOT 4

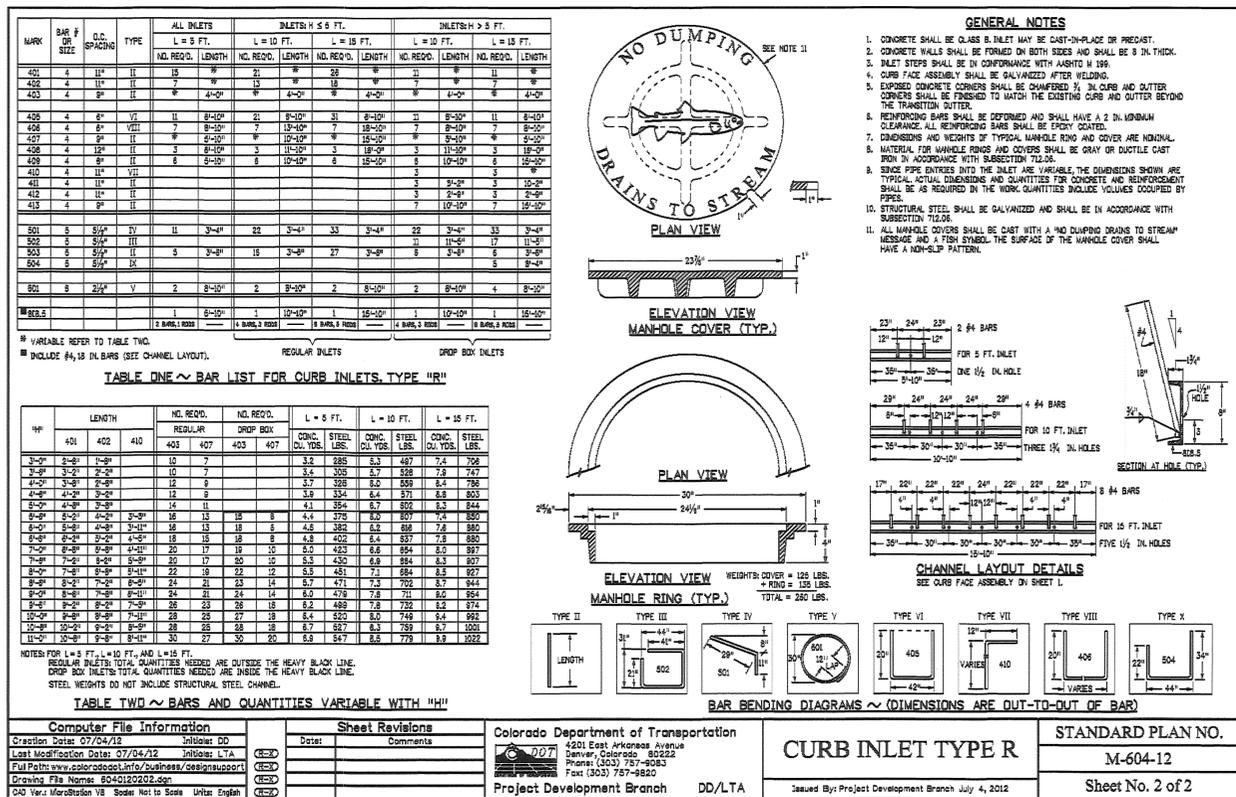
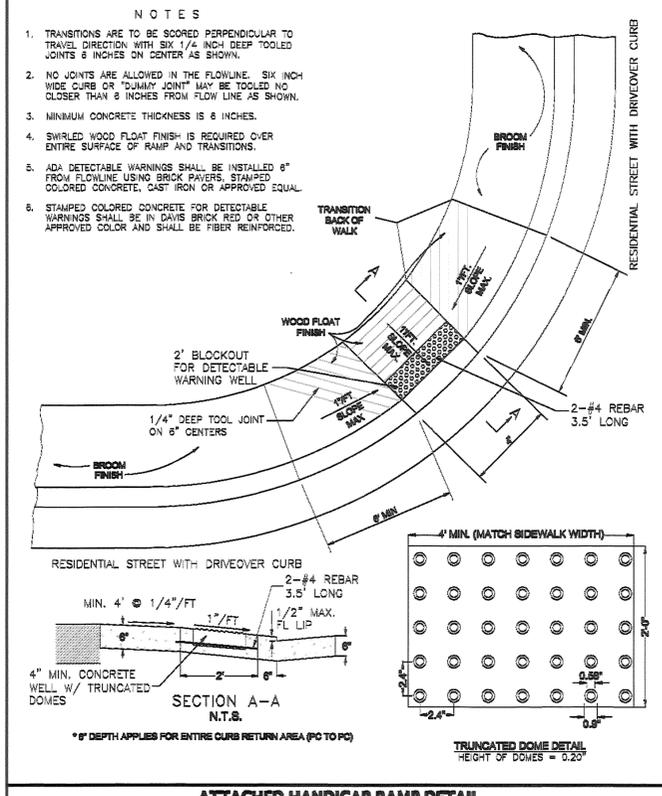
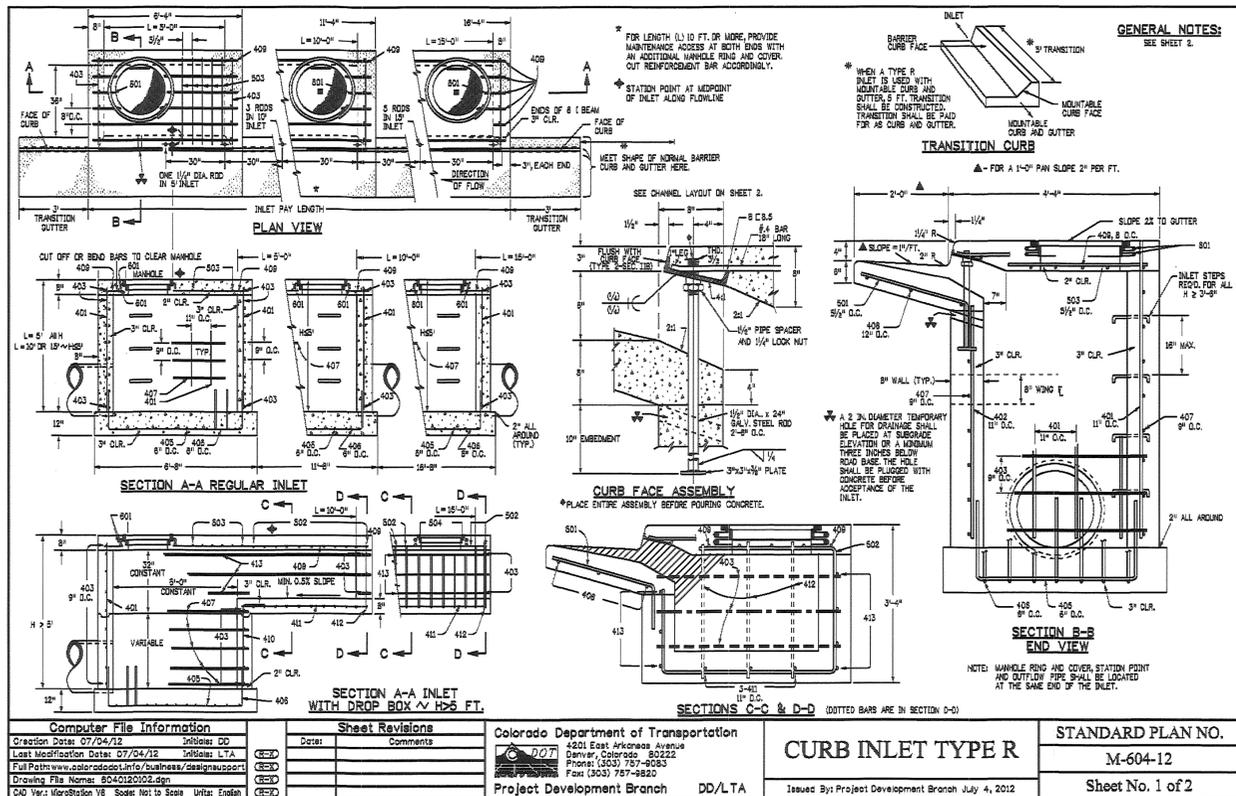
FIRESTONE

JOB NO.: 16-KFC-004
 SCALE: 3/8" = 1'-0"
 DATE: 5-22-17
 DRAWN: JWD
 CHECKED: JWD

APPROVED TENANT

SHT. NO. FDP-8

SHEET 8 OF 21



FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE LANDSCAPE PLAN SHEET 9 OF 21



4360580 Pages: 9 of 21
12/15/2017 02:42 PM R Fee: \$213.00
Curtis Koppes, Clerk and Recorder, Weld County, CO

DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
199 FIRST ST. #212
LOS ALTOS, CALIFORNIA

KFC
FIRESTONE CITY CENTRE
LOT 4

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COLORADO

FIRESTONE

JOB NO.: 16-KFC-004
SCALE: 2-22-17
DATE: JDC
DRAWN: TJ
CHECKED:

REVISIONS:

APPROVED TENANT

SHT. NO.

FDP-9

SHEET 9 OF 21

NOTES

- ALL WORK SHALL CONFORM THE TOWN OF FIRESTONE AND/OR FIRESTONE CITY CENTRE DESIGN GUIDELINES, AND ALL APPLICABLE STATE AND LOCAL CODES & REGULATIONS.
- VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES PRIOR TO DIGGING, EXCAVATION OR TRENCHING. DAMAGE TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR WITH NO EXPENSE TO THE OWNER.
- CONTACT APPROPRIATE UTILITY LOCATORS TO LOCATE ALL BURIED UTILITY LINES. FIELD-VERIFY EXISTING LOCATIONS, GRADES, AND CONDITIONS OF ALL BURIED LINES AND STRUCTURES PRIOR TO BEGINNING CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS. DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED AT HIS OWN COST WITH NO EXPENSE TO THE OWNER.
- REFER TO THE CONSTRUCTION PLAN SET FOR RELATED PLAN INFORMATION INCLUDING ARCHITECTURAL, ENGINEERING AND ELECTRICAL DRAWINGS. ANY DISCREPANCIES THAT AFFECT THIS WORK MUST BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST DO NOT PROCEED WITH CONSTRUCTION ACTIVITIES WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE.
- FIELD-VERIFY THE LOCATION OF ALL PERTINENT EXISTING & ALREADY CONSTRUCTED SITE IMPROVEMENTS PRIOR TO BEGINNING WORK. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES FROM THE INFORMATION SHOWN ON THESE PLANS.
- REFER TO GRADING AND DRAINAGE DRAWINGS DONE BY OTHER CONSULTANTS FOR GRADES AND ELEVATIONS.
- COORDINATE LOCATION OF IRRIGATION SLEEVING FOR INSTALLATION PRIOR TO PARKING AND WALK PAVING OPERATIONS. SEE IRRIGATION PLANS.

FINE GRADING / PREPARATION NOTES

- ALL LANDSCAPE AREAS SHALL RECEIVE 4" OF TOPSOIL TO THE MAXIMUM EXTENT FEASIBLE. TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE ON LANDSCAPING AREAS. WHEN EXISTING QUANTITIES ARE NOT AVAILABLE, TOPSOIL SHALL BE IMPORTED. TOPSOIL SHALL BE FROM THE 'A' HORIZON, FREE OF DEBRIS, ROCK AND VEGETATION CLUMPS, PH LEVEL 6.7-7.4. AND 3% MIN. ORGANIC MATTER. VERIFY SOURCE.
- ROUGH GRADES SHALL BE REVIEWED AND ACCEPTED BY OWNER'S REPRESENTATIVE PRIOR TO FINE GRADING AND SOIL PREPARATION OPERATIONS. ENSURE POSITIVE DRAINAGE (2% MIN. FALL) AWAY FROM ALL BUILDING FOUNDATIONS AND STRUCTURES IN ALL LANDSCAPE AREAS. NOTIFY OWNER'S REPRESENTATIVE IF ROUGH GRADING CONDITIONS WILL CREATE PONDING OR FLOW TOWARD FOUNDATIONS. DO NOT PLANT IN SWALE BOTTOMS OR OTHER LOCATIONS OF CONCENTRATED DRAINAGE SO AS TO BLOCK FLOWS.
- FINE GRADE ALL LANDSCAPE AREAS TO +/- .10'. AREAS SHALL BE SETTLED AND RAKED SMOOTH. DEBRIS, ROCK, CLODS, ETC. THAT WILL NOT PASS THROUGH TYNES OF A HAND RAKE SHALL BE REMOVED FROM THE SURFACE. LANDSCAPE AREAS SHALL BE FIRM WITHOUT DEPRESSIONS PRIOR TO PLANTING. ALL FINE GRADING MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION.
- SOIL AMENDMENT SHALL BE LOW-SALTS, FULLY-MATURED ORGANIC COMPOST, CERTIFIED FREE OF PATHOGENS. PH SHALL BE 6.0 TO 7.4 WITH A MIN. OF 30% ORGANIC MATERIAL. COMPOST SHALL BE BIOCOMP-CLASS 1 BY A1 ORGANICS 16350 WCR 76, EATON, CO 80615, OR APPROVED EQUAL. AMENDMENT FOR LANDSCAPE AREAS SHALL BE 4 C.Y. PER 1,000 S.F.
- FOR TURF AREAS THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL AND SOIL AMENDMENT MIXTURE TILLED TO A MIN. DEPTH OF 8". IN BED AREAS, THE TOP 6" OF SUBGRADE SHALL BE TOPSOIL & AMENDMENT TILLED TO A MIN. DEPTH OF 12".
- IN ALL BED AREAS HOLD TOP OF SUBGRADE 3-4" BELOW ADJACENT IMPROVEMENTS TO ALLOW ROOM FOR SPECIFIED MULCH DEPTH.

EDGER

- ALL PLANTING BEDS ARE TO BE CONTAINED BY 3/16" X 4" INTERLOCKING STEEL EDGER PAINTED GREEN OR BLACK. EDGER TO HAVE A ROLLED STEEL TOP FOR SAFETY. INSTALL PER MFR'S. RECOMMENDATIONS. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS OR WALKS. HOLD SUBGRADE FOR SOD 1" BELOW TOP OF EDGER. SHOULD EDGER CROSS SWALES OR OTHER LOCATIONS OF CONCENTRATED FLOW, USE PERFORATED EDGER OR DRILL HOLES TO ALLOW WATER TO PASS. 3 HOLES PER LINEAR FOOT.

PLANTING NOTES

- LAYOUT PLANT BED EDGER LINE AND STAKE INDIVIDUAL PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- PLANTS SHALL MEET THE MINIMUM STANDARDS OUTLINED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 AND THE COLORADO NURSERY ACT, LATEST EDITIONS- ALL PLANT MATERIALS SHALL CONFORM TO GRADES & SIZES AND ARE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. PLANTS NOT MEETING THE SET STANDARDS WILL BE REJECTED. OWNER MAY REJECT PLANTS AT ANY TIME AS THE SOLE DETERMINER OF PLANT ACCEPTABILITY.
- COORDINATE TREE LOCATIONS WITH NEW UTILITY LINE LOCATIONS AND EASEMENTS PRIOR TO INSTALLATION.
- PLANT SPECIES AND LOCATION SHOULD FOLLOW APPROVED PLAN. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THE CONTRACTOR MUST GET APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL PLANT MATERIAL SHALL CARRY A WARRANTY FOR A PERIOD OF NOT LESS THAN 1 YEAR AFTER ACCEPTANCE OF THE PROJECT BY THE OWNER. WARRANTY SHALL BE A ONE-TIME REPLACEMENT THAT INCLUDES PLANT MATERIAL AND LABOR COSTS.
- PLANT COUNTS: QUANTITIES SHOWN ARE ASSUMED CORRECT CONTRACTOR TO VERIFY. ACTUAL PLANTS SHOWN ON PLAN GROUND OVER LISTED COUNTS AND ARE CONTRACT AMOUNTS WHETHER NAMED OR NOT.

PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT X SPREAD	NOTES/REMARKS
DECIDUOUS TREES						
EO	5	Quercus robur	English Oak	2.5" cal.	50'x40'	B&B, FULL HEAD & STRAIGHT, SINGLE MAIN TRUNK
HL	5	G. triacanthos inermis 'Shademaster'	Shademaster Honeylocust	2.5" cal.	50'x40'	
KC	3	Gymnocladus dioica 'Espresso'	Kentucky Coffeetree	2.5" cal.	50'x40'	
ORNAMENTAL TREES						
SC	3	Malus 'Spring Snow'	Spring Snow Crabapple	2.5" cal.	25'x20'	
TC	1	Malus 'Thunderchild'	Thunderchild Crabapple	2.5" cal.	15'x15'	
EVERGREEN TREES						
AP	5	Pinus nigra	Austrian Pine	6' Ht.	50'x30'	B&B; full & bushy
BP	6	Pinus heldreichii leucodermis	Bosnian Pine	6' Ht.	25'x12'	B&B; full & bushy
DECIDUOUS SHRUBS						
AB	34	Potentilla fruticosa 'Abbotswood'	Abbotswood Potentilla	5 gal.	3'x3'	Container
AC	46	Ribes alpinum	Alpine Currant	5 gal.	3-4'x4'	Container
DL	17	Syringa patula 'Miss Kim'	Miss Kim Lilac	5 gal.	4'x4'	Container
DN	3	Physocarpus opulifolius 'Diabolo'	Diabolo Ninebark	5 gal.	6'x6'	Container
FC	28	Caryopteris clandonensis 'First Choice'	First Choice Blue Mist Spirea	5 gal.	2.5'x3'	Container
GF	28	Spirea japonica 'Goldflame'	Goldflame Spirea	5 gal.	3'x3'	Container
GL	37	Rhus aromatica 'Gro-low'	Gro-low Sumac	5 gal.	2-3'x6'	Container
GP	17	Potentilla fruticosa 'Gold Coronation'	Gold Coronation Potentilla	5 gal.	3'x4'	Container
LD	12	Physocarpus opulifolius 'Little Devil'	Little Devil Ninebark	5 gal.	4'x4'	Container
LV	31	Viburnum lantana 'Mohican'	Mohican Viburnum	5 gal.	6-8'x6-8'	Container
NV	3	Viburnum lentago	Nannyberry Viburnum	5 gal.	12'x8'	Container
PB	7	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	5 gal.	18" x 5-6"	Container
SM	34	Philadelphus x 'Snowbelle'	Snowbelle Mockorange	5 gal.	4'x4'	Container
TB	7	Frangula alnus 'Columnaris'	Tailhedge Buckthorn	5 gal.	12'x3'	Container
WS	12	Prunus besseyi	Western Sandcherry	5 gal.	4-5'x6'	Container
EVERGREEN SHRUBS						
BP	6	Juniperus chinensis 'Blue Point'	Blue Point Juniper	5 gal.	8'x6'	Container
ORNAMENTAL GRASSES, GROUND COVERS & PERENNIALS						
BA	35	Helictotrichon sempervirens	Blue Avena Grass	5 gal.	3'x3'	Container
GS	8	Sporobolus wrightii	Giant Sacaton	5 gal.	5'x3'	Container
MG	17	Miscanthus sinensis 'Gracillimus'	Maiden Grass	5 gal.	4'x4'	Container
MY	8	Achillea 'Moonshine'	Moonshine Yarrow	1 gal.	30" x 24"	Container
PR	17	Salvia verticillata 'Purple Rain'	Purple Rain Salvia	1 gal.	24" x 18"	Container
SH	32	Salvia nemorosa 'Snow Hill'	Snow Hill Salvia	1 gal.	18x15"	Container
VG	19	Miscanthus sinensis 'Variegatus'	Variiegated Maiden Grass	5 gal.	4'x4'	Container

- PLANT HOLE BACKFILL SHALL BE 1/3 TOPSOIL, 1/3 COMPOSTED AMENDMENT AND 1/3 NATIVE SOIL THOROUGHLY MIXED.
- ALL NEWLY-PLANTED TREES, SHRUBS AND ORNAMENTAL GRASSES SHALL RECEIVE SCOTTS AGRIFORM 20-10-5 PLANTING TABLETS OR APPROVED EQUAL. AFTER PLANTINGS PERENNIAL BEDS SHALL RECEIVE GRANULAR FERTILIZER WITH A FORMULATION OF 10-10-10. APPLY PER MANUFACTURER RECOMMENDATIONS.

MULCH

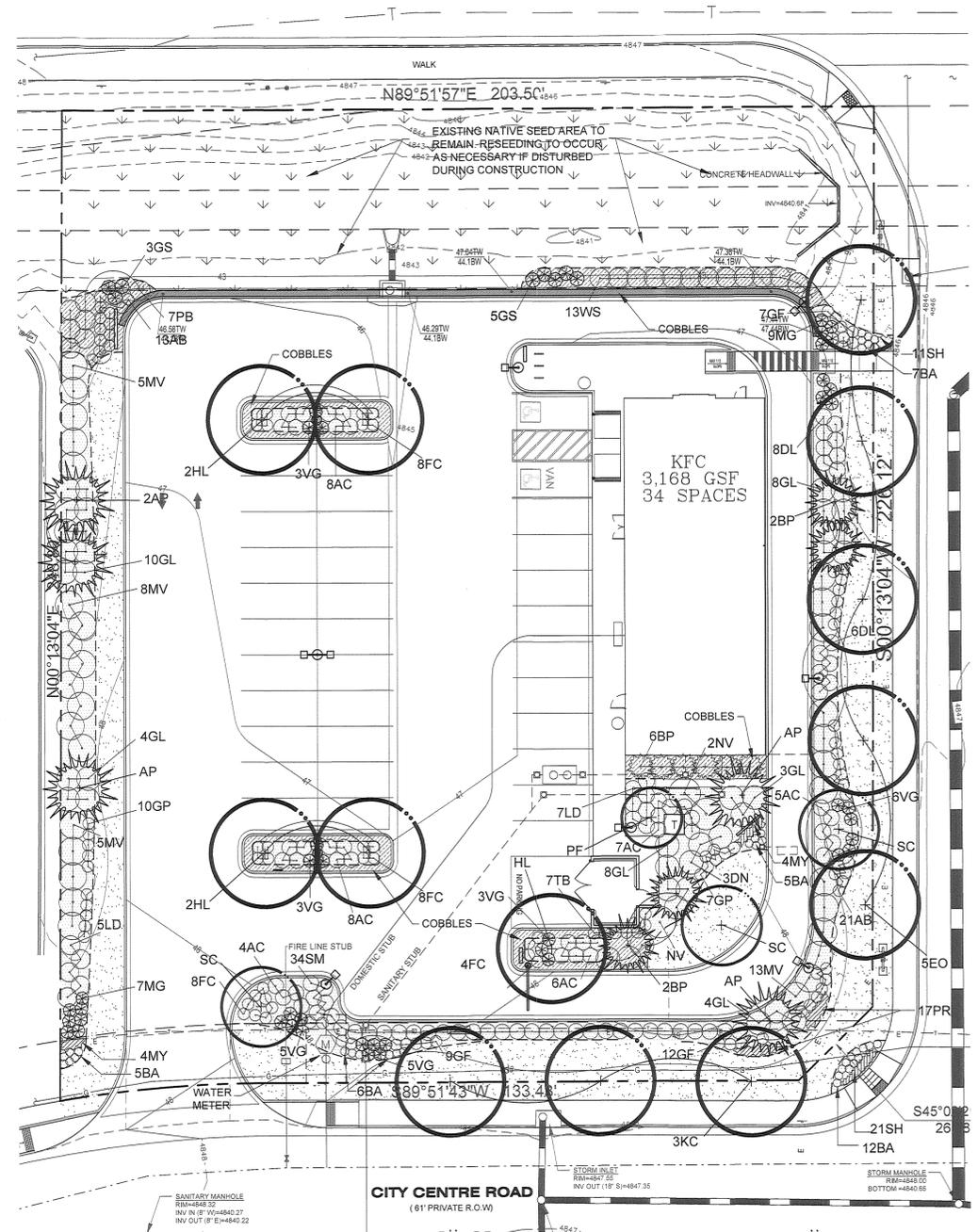
- WOOD MULCH SHALL BE 3-4" DEPTH SHREDDED RED CEDAR, NATURAL COLOR. COBBLES SHALL BE 3-6" DIA., TAN/BROWN/GRAY COLOR RANGE RIVER COBBLE 3" DEEP. ALL PLANTS IN COBBLES SHALL HAVE WOOD MULCH AT THEIR BASES. SUBMIT MULCH & COBBLE SAMPLES FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- ALL PLANTING BEDS SHALL HAVE WEED BARRIER FABRIC- TYPAR PRO LANDSCAPE FABRIC, 3 OZ. OR APPROVED EQUAL AS SUPPLIED BY THE DEWITT COMPANY 905 SOUTH KINGS HIGHWAY, SIKESTON, MO 63801 800-888-9669 info@dewittcompany.com.
- ALL TREES IN TURF AREAS WILL HAVE A MULCH RING WITH NATURAL CEDAR FIBER MULCH AT 3-4" DEPTH AND AT LEAST 3-4" IN DIAMETER. KEEP MULCH 4-6" AWAY FROM TRUNKS.
- SOD & SEED
- GRANDE II TALL FESCUE SOD OBTAINED FROM GRAFF'S TURF FARMS, FT. MORGAN, CO. SODDING- LAY OVER WELL PREPARED SOD BED WITH APPLICATION OF 4 CU. YOS. OF SOIL PREPARATION HUMUS AND 6 LBS. OF OIAMMONIUM PHOSPHATE PER 1,000 SQ. FT.
- SEEDING NATIVE TURF AREAS SHALL BE HYDROSEEDING / MULCHED WITH TACKIFIER. SLOPES 3:1 AND STEEPER SHALL BE COVERED WITH S150 EROSION CONTROL MAT OR EQUAL.
- SEED MIX SHALL BE APPLIED AS FOLLOWS:

(% PLS)	SPECIES
35%	FAIRWAY CRESTED WHEATGRASS
25%	REUBENS CANADA BLUEGRASS
20%	SODAR STREAMBANK WHEATGRASS
10%	BLUE GRAMA
10%	TEXOKA BUFFALO GRASS

RATE:
65 LBS. / ACRE- DRILLED
130 LBS. / ACRE- BROADCAST

- EROSION CONTROL BLANKET SHALL BE BIONET® C125BN™ LONG-TERM BIODEGRADABLE DOUBLE-NET COCONUT BLANKET (OR APPROVED EQUAL) BY TENSAR CORP. 2500 NORTHWINDS PARKWAY, SUITE 500, ALPHARETTA, GA 30009. PHONE:(770) 344-2090.

ALL PLANTING SHALL CONFORM TO THE TOWN OF FIRESTONE AND/OR FIRESTONE CITY CENTRE DESIGN GUIDELINES.



LEGEND

	DECIDUOUS TREE		IRRIGATED SOD
	ORNAMENTAL TREE		SHREDDED CEDAR MULCH
	EVERGREEN TREE		SEEDED AREA
	DECIDUOUS SHRUB		COBBLES
	EVERGREEN SHRUB		STEEL EDGER
	ORNAMENTAL GRASS		



PLANNING & LANDSCAPE ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463 fax 282.0473

KFC @ FIRESTONE CITY CENTRE LANDSCAPE PLAN	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE

LANDSCAPE DETAILS

SHEET 10 OF 21



4360580 Pages: 10 of 21
12/15/2017 02:42 PM R Fee: \$213.00
Carly Koppen, Clerk and Recorder, Weld County, CO

NEAR
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CALIFORNIA

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COLORADO

KFC
FIRESTONE CITY CENTRE
LOT 4

FIRESTONE

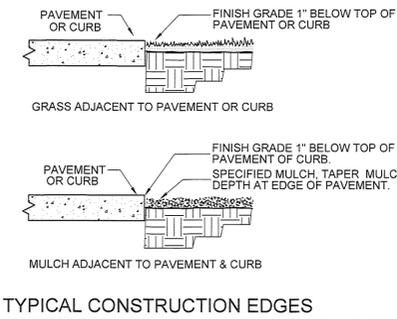
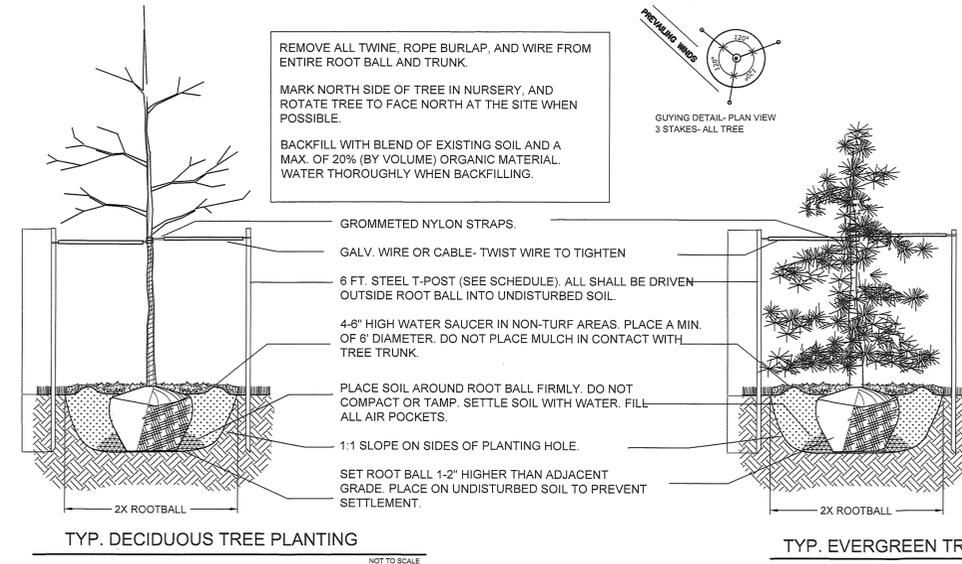
JOB NO.: 16-KFC-004
SCALE:
DATE: 2-22-17
DRAWN: JDC
CHECKED: TJ

REVISIONS:
APPROVED
TENANT

SHT. NO.

FDP-10

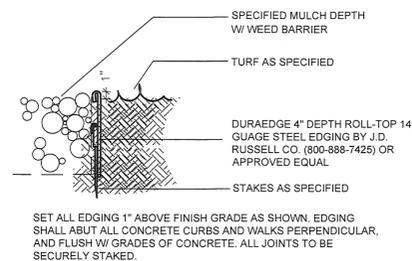
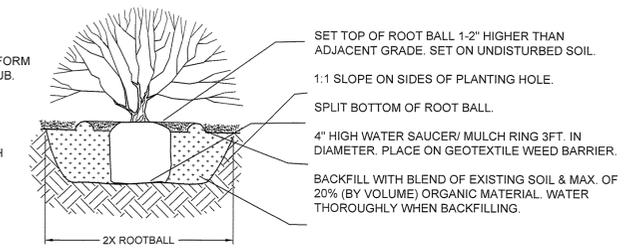
SHEET 10 OF 21



PRUNING NOTES:
DO NOT HEAVILY PRUNE SHRUBS AT PLANTING. PRUNE ONLY DEAD OR BROKEN BRANCHES. IF FORM IS COMPROMISED BY PLANTING, REPLACE SHRUB.

REMOVE CONTAINER (INCLUDING FIBER CONTAINERS), BASKETS, WIRE, ETC. FROM THE ROOTBALL. BREAK-UP ENCIRCLING ROOTS WITH SHARP KNIFE OR SPADE.

PLACEMENT NOTES:
SET SHRUB PLUMB. SPACE PLANTS AND PLACE FOR BEST EFFECT.



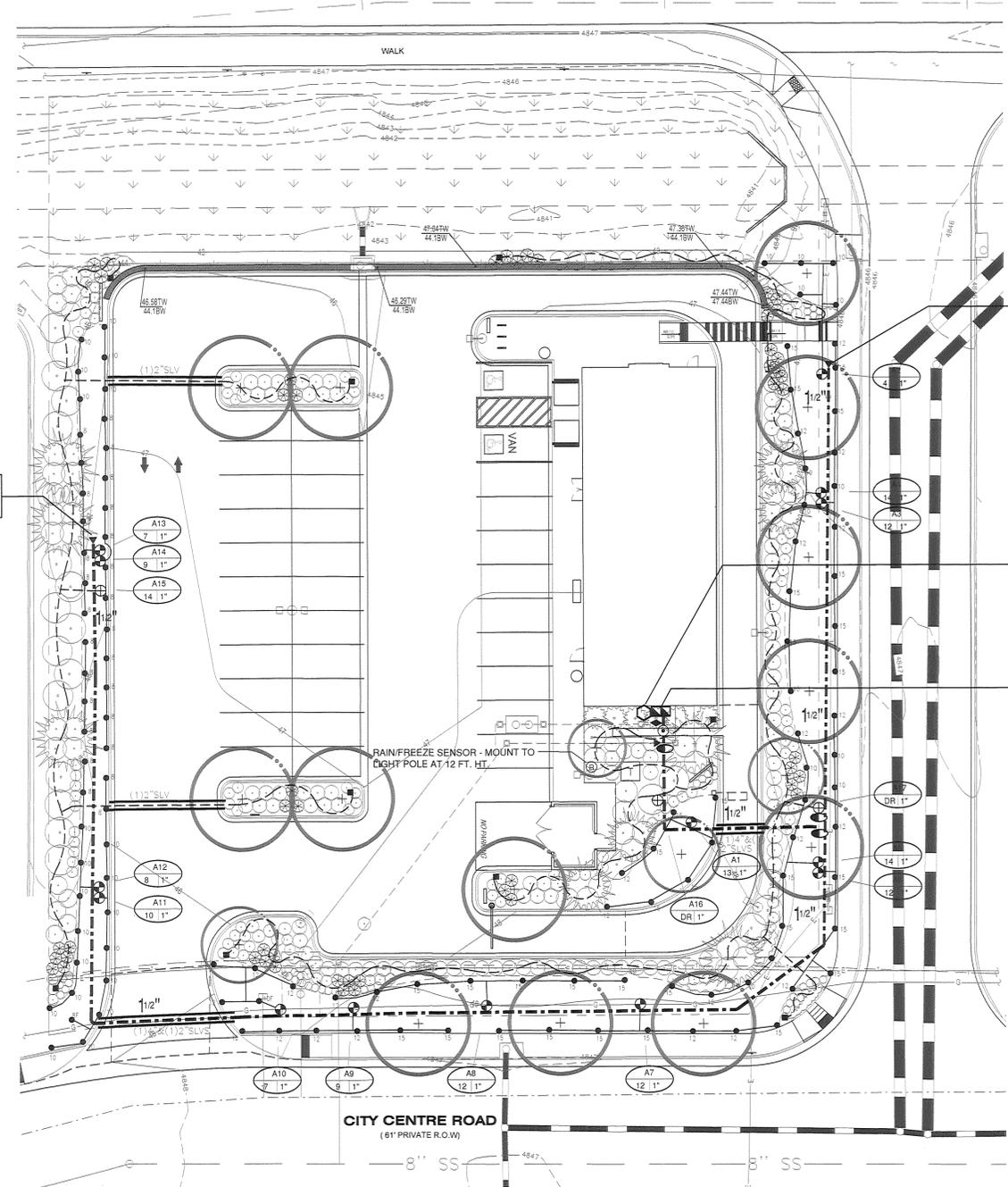
PLANNING & LANDSCAPE
ARCHITECTURE
Jump Design Company
1733 S. Clarkson Street
Denver, Colorado 80210
303.282.0463 fax 282.0473

KFC @ FIRESTONE CITY CENTRE LANDSCAPE DETAILS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 LOT 4, FIRESTONE CITY CENTRE SUBDIVISION FILING NO. 3
IRRIGATION PLAN
 TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
 SHEET 11 OF 21

NEAR
 DESIGN & PLANNING INC.
 HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

Irrigation Equipment and Materials Schedule					
SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	DETAIL NO.	COMMENTS
●	RAIN BIRD	1806 SAM PRS W/ HE-VAN NOZZ.	POP-UP SPRAY HEAD	1	
○		LINE SIZE	DRIP LINE BLOW-OUT STUB	8	
○	HUNTER	WRF-CLIK	WIRELESS RAIN/FREEZE SENSOR	11	
○	BUCKNER-SUPERIOR	3200 SERIES - 1" DIA.	MASTER VALVE	4	
○	RAIN BIRD	44 LRC	QUICK COUPLING VALVE	3	
○	RAIN BIRD	PEB SERIES	ELECTRIC CONTROL VALVE	2	
○	HUNTER	ICC2 SERIES	ELECTRIC CONTROLLER	10	
○		LINE SIZE	GATE VALVE	5	
○	FEBCO	860 - 3/4"	BACKFLOW PREVENTER	12	
○		3/4" DIA.	MANUAL DRAIN VALVE	6	
○	RAIN BIRD	XCZ-100-PRF	DRIP VALVE ASSEMBLY	7	
○	CENTENNIAL PLASTICS	3/4" DIA.	POLY DRIP TUBING	9	
○		CLASS 200 SOLVENT WELD	PVC SLEEVING		
○		CLASS 200 SOLVENT WELD	PVC MAINLINE	13	
○		80 PSI NSF - 1" DIA.	POLYETHYLENE LATERAL	13	



EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER "A" TO INDICATED LOCATION. STUB WIRES IN VALVE BOX CONTAINING QUICK COUPLING VALVE.

EXTEND TWO SPARE CONTROL WIRES WITH COMMON FROM CONTROLLER "A" TO INDICATED LOCATION. STUB WIRES IN VALVE BOX CONTAINING QUICK COUPLING VALVE.

CONTROLLER LOCATION "A"

WALL MOUNT ONE HUNTER ICC2 SERIES 24 STATION CONTROLLER AT INDICATED LOCATION. 120 VOLT ELECTRICAL POWER IS AVAILABLE WITHIN 10 L.F. OF CONTROLLER LOCATION. ELECTRICAL POWER AND CONNECTION TO CONTROLLER IS BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF CONTROLLER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.

POINT OF CONNECTION - 3/4"

TIE ONTO 3/4" COPPER IRRIGATION WALL STUB-OUT AT APPROX. LOCATION SHOWN. EXTEND 2" K SOFT COPPER AT 54" DEPTH TO BACKFLOW PREVENTER LOCATION. INSTALL ONE 3/4" REDUCED PRESSURE BACKFLOW PREVENTER, ONE 3/4" MANUAL DRAIN VALVE, ONE 1" MASTER VALVE, ONE QUICK COUPLING VALVE, ONE 1" GATE VALVE AND EXTEND CLASS 200 PVC MAINLINE AS SHOWN. WORK SHALL CONFORM TO LOCAL CODE. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID BY CONTRACTOR. FINAL LOCATION OF BACKFLOW PREVENTER SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO START OF WORK.

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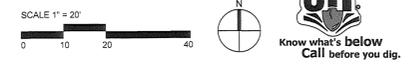
COLORADO
 FIRESTONE CITY CENTRE
 LOT 4
 FIRESTONE

Aroca
 IRRIGATION DESIGN
 7114 W. JEFFERSON AVENUE, SUITE 201
 LAKEWOOD, COLORADO 80235
 PHONE: 303.986.2175
 FAX: 303.989.5814

JOB NO.: 16-KFC-004
 SCALE: 5-22-17
 DATE: DCZ
 DRAWN: DCZ
 CHECKED: DCZ

KFC @ FIRESTONE CITY CENTRE		IRRIGATION PLAN	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE	APPROVED:	TENANT
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN	REVISIONS:	
FILING NUMBER:		PHASE NUMBER:	
PREPARATION DATE:	5-22-17	REVISION DATE:	8-10-17
REVISION DATE:	10-18-17	REVISION DATE:	
REVISION DATE:		REVISION DATE:	
REVISION DATE:		REVISION DATE:	

SHT. NO.
FDP-11
 SHEET 11 OF 21



FINAL DEVELOPMENT PLAN

KFC AT FIRESTONE CITY CENTRE

LOT 4, FIRESTONE CITY CENTRE SUBDIVISION FILING NO. 3

IRRIGATION DETAILS

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
 SHEET 12 OF 21

NEAR
 DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

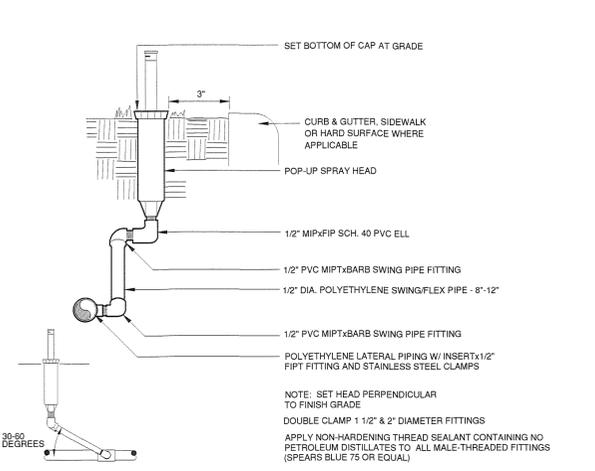
THESE PLANS ARE AN INSTRUMENT OF SERVICE AND ARE THE PROPERTY OF NEAR DESIGN AND PLANNING, INC. AND SHALL NOT BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF NEAR DESIGN AND PLANNING, INC. CONTRACTS AND AGREEMENTS SHALL BE ENFORCEABLE AND PRECEDENT.

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 COLORADO
 FIRESTONE

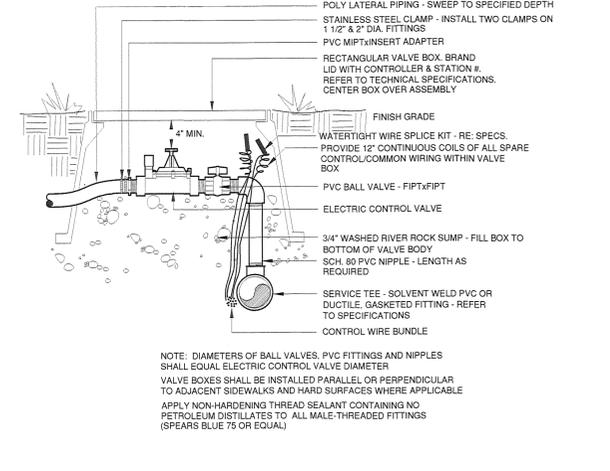
JOB NO.: 16-KFC-004
 SCALE: 5-22-17
 DATE: 8-10-17
 DRAWN: DCZ
 CHECKED: DCZ

KFC @ FIRESTONE CITY CENTRE		REVISIONS:
IRRIGATION DETAILS		
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE	APPROVED TENANT
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN	
FILING NUMBER:		
PHASE NUMBER:		
PREPARATION DATE:	5-22-17	
REVISION DATE:	8-10-17	
REVISION DATE:	10-18-17	
REVISION DATE:		
REVISION DATE:		

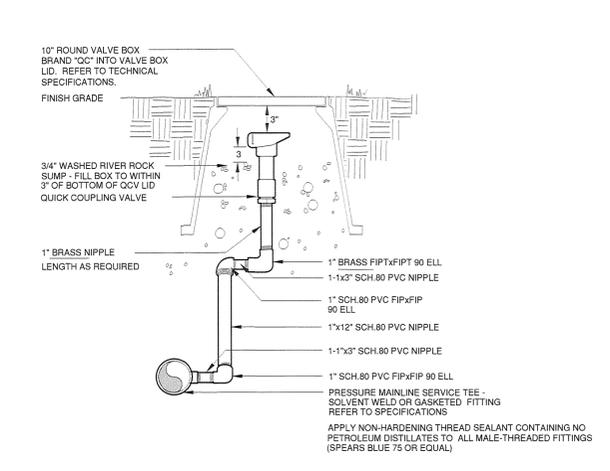
SHT. NO.
FDP-12



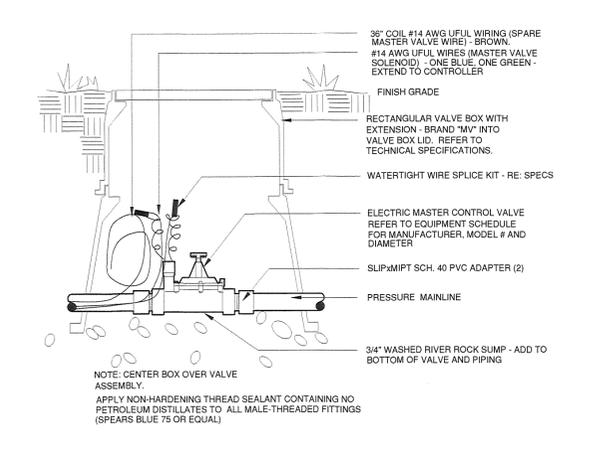
POP-UP SPRAY HEAD 1



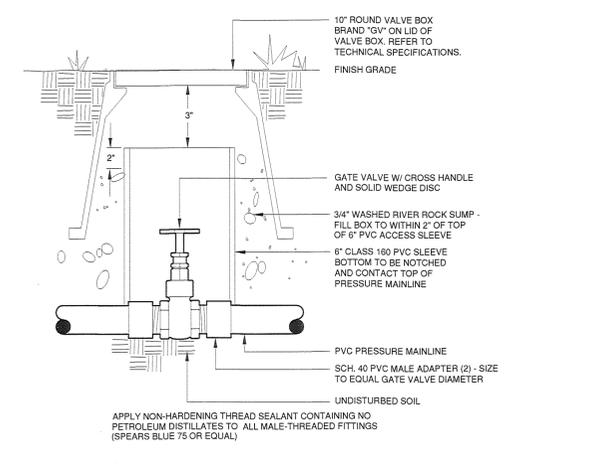
ELECTRIC CONTROL VALVE 2



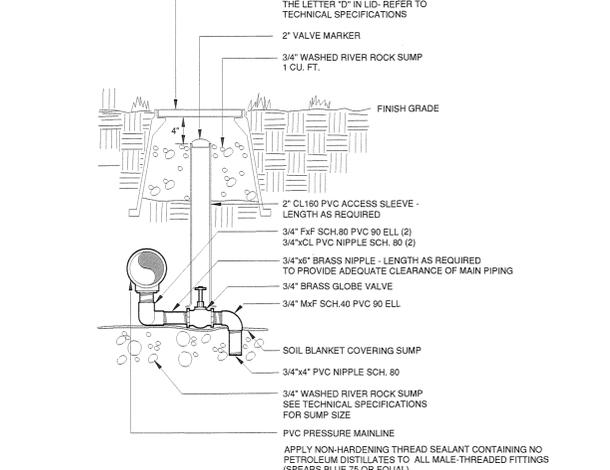
QUICK COUPLING VALVE 3



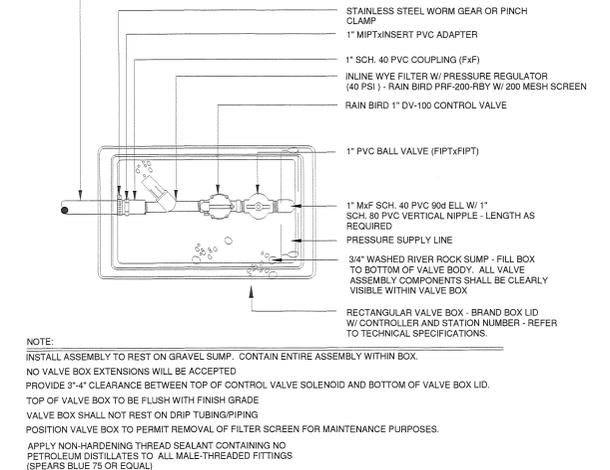
MASTER VALVE 4



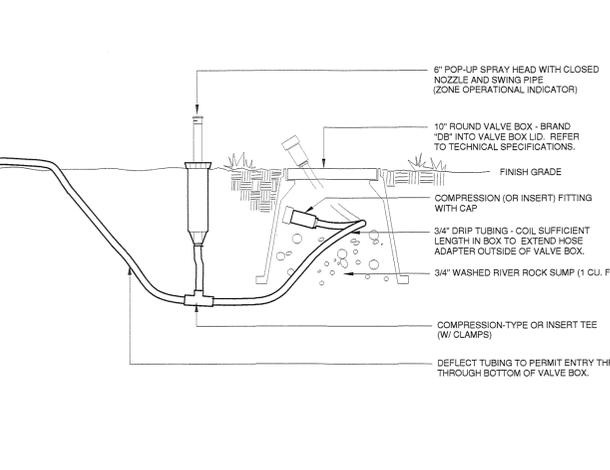
GATE VALVE 5



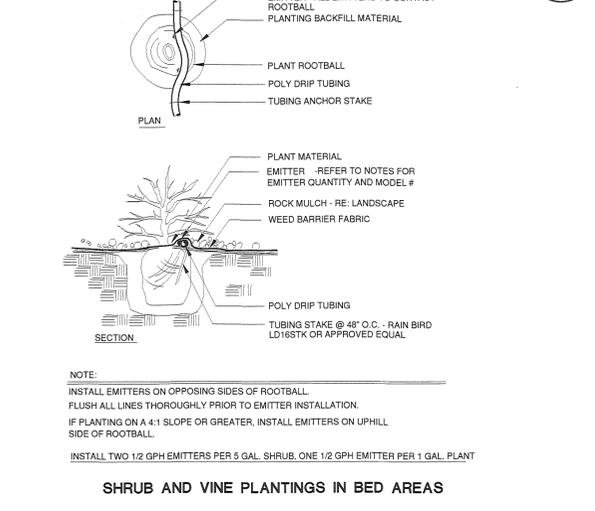
MANUAL DRAIN VALVE 6



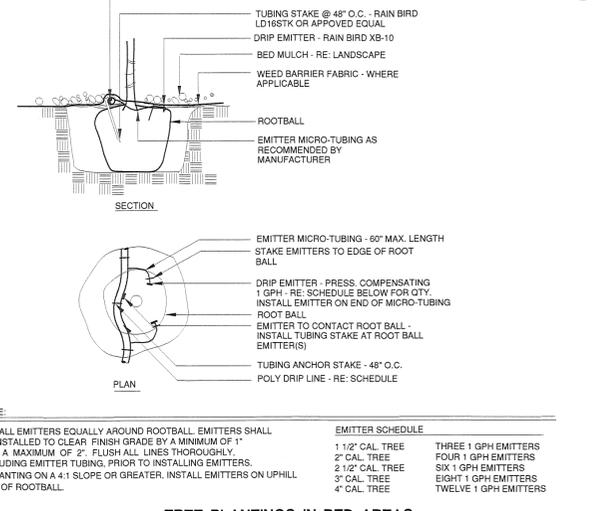
DRIP VALVE ASSEMBLY 7



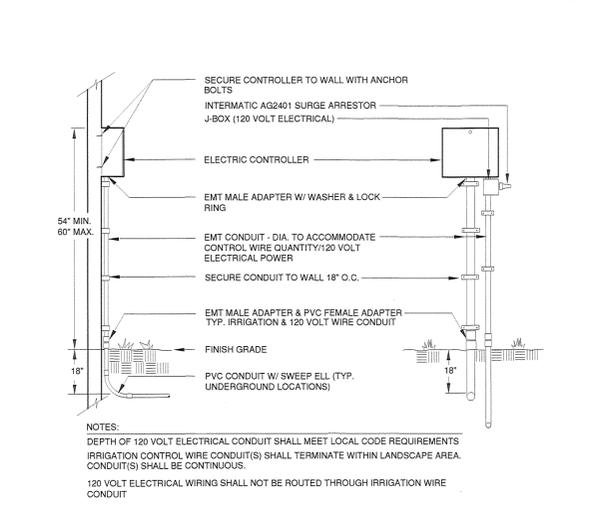
DRIP LINE FLUSH-OUT AND OPERATIONAL INDICATOR 8



DRIP EMITTER 9

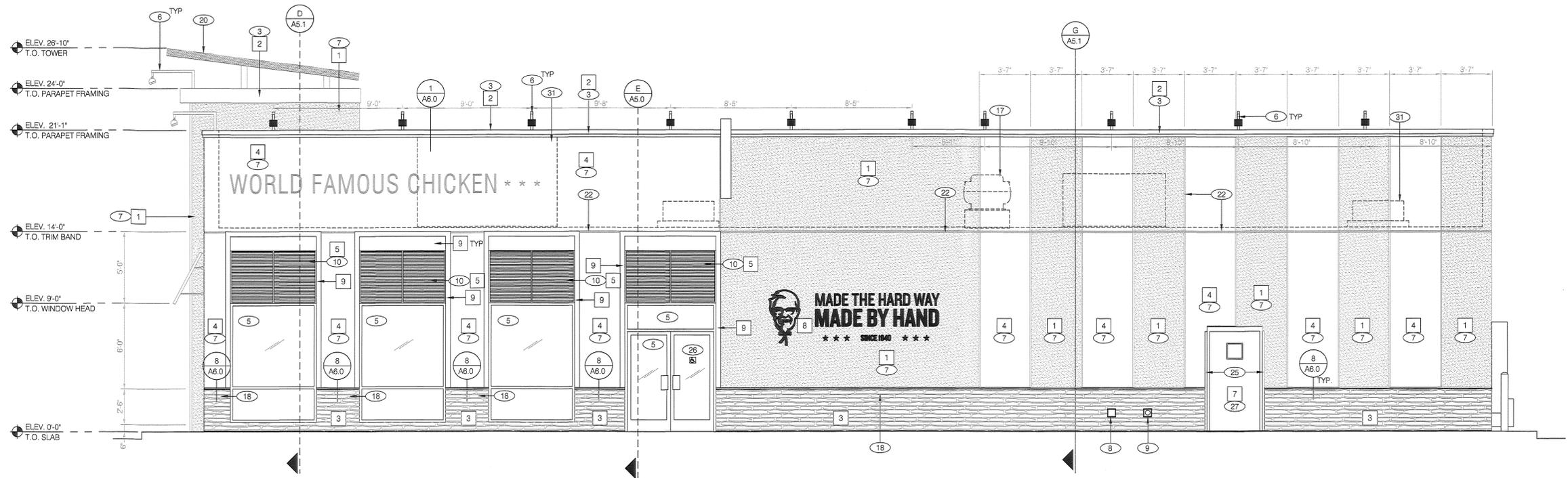


TREE PLANTINGS IN BED AREAS 9



ELECTRIC CONTROLLER 10

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 BUILDING ELEVATIONS
 SHEET 13 OF 21



WEST ELEVATION 1/4"=1'-0" **A**

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT
1	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT MATCH DRYVIT #117 COLONIAL TAN SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
2	EXTERIOR METAL	BENJAMIN MOORE	COROTECH POLYESTER URETHANE 2125-70 WEDDING VEIL (V620) GLOSS CATALYST			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
3	BACK OF HOUSE WALLS / WAINSCOT / CURB	BORAL CULTURED STONE	CHARDONNAY, COUNTRY LEDGESTONE			
4	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT, COLOR TO MATCH SHERWIN WILLIAMS CREAMY 7012 SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			
5	EXTERIOR METAL		PRE-FINISHED BY VENDOR			
6	BOLLARDS		PVC SLEEVE VERIFY COLOR W/ OWNER			
7	PAINTED METAL	BENJAMIN MOORE	COROTECH POSESTER URETHANE NIGHT HORIZON 2134-10 GLOSS CATALYST, COROTECH PRIMER (V132)			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
8	PAINTED STENCIL		BLACK			
9	PAINTED BORDER	BENJAMIN MOORE	AURA EXTERIOR PAINT, NIGHT HORIZON 2134-10 MOORE 2132-30 BLACK HORIZON SATIN FINISH EARTH TONES MASONRY SUBSTRATE PRIMER: NO68; GLAZED TILE SUBSTRATE PRIMER SXA-110			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com

EXTERIOR FINISH SCHEDULE **F**

MISCELLANEOUS:
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
 B. PAINT COLOR SHOWN ARE COLOR REFERENCES FOR THE E.I.F.S. SUPPLIER.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

CRITICAL FINISH OPENINGS:
 BUILDING FINISH OPENINGS THAT ARE DESIGNATED AS "CRITICAL" SHALL BE MAINTAINED TO PROVIDE FOR THE STANDARD INSTALLATION OF STANDARD SIGNAGE / BUILDING ELEMENTS. SEE GENERAL NOTE FOR VENDOR PROVIDED / VENDOR INSTALLED ELEMENTS.

THIN BRICK INSTALLATION:
 THE GENERAL CONTRACTOR TO ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:
 GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES **D**

- 1 NOT USED.
- 2 NOT USED.
- 3 PARAPET FASCIA CAP.
- 4 NOT USED.
- 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 7/8" CEMENT PLASTER SYSTEM. REFER TO EXTERIOR FINISH SCHEDULE FOR COLORS AND A6 SHEETS FOR DETAILS.
- 8 HOSE BIB - REFER TO DETAIL 5 / A6.2.
- 9 CO2 FILLER VALVE & COVER.
- 10 RED METAL AWNING, PAINT NIGHT HORIZON BEHIND AWNINGS.
- 11 NOT USED.
- 12 INDICATES TOP OF ROOF DECK.
- 13 NOT USED.
- 14 NOT USED.
- 15 STEEL BOLLARD W/ PVC SLEEVE. SEE SITE DETAILS.
- 16 NOT USED.
- 17 EXHAUST FANS ON ROOF.
- 18 THIN BRICK SOLDIER COURSE.
- 19 TRANSITION FROM THIN BRICK -to- STUCCO.
- 20 TOWER LID CANOPY.
- 21 NOT USED.
- 22 REVEAL IN STUCCO. SEE DETAIL 7 / A6.0.
- 23 NOT USED.
- 24 ROOF DRAIN OVERFLOW LEADER, SEE DETAIL 16 / A6.0.
- 25 STAINLESS STEEL CORNER GUARDS.
- 26 HANDICAP SIGNAGE; MOUNT AT 5'-0" A.F.F.
- 27 SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
- 28 EXTERIOR FINISH DIMENSION; TYPICAL.
- 29 STUCCO CONTROL JOINT. PROVIDE PER MFRG RECOMMENDATIONS.
- 30 DRIVE THRU WINDOW; SEE <B-120>, SHEET A2.1.
- 31 ROOF TOP EQUIPMENT BEYOND PARAPET COMPLIES WITH LDC 21-7602(2).
- 32 GAS METER, PAINT TO MATCH THE BUILDING, COORDINATE WITH THE UTILITY CO.
- 33 ELECTRICAL SERVICE, PAINT TO MATCH THE BUILDING.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET **KEY NOTES** **B**

KFC @ FIRESTONE CITY CENTRE	
BUILDING ELEVATIONS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	

JOB NO.: 16-KFC-004
 SCALE: 1/4"=1'-0"
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

APPROVED
 TENANT

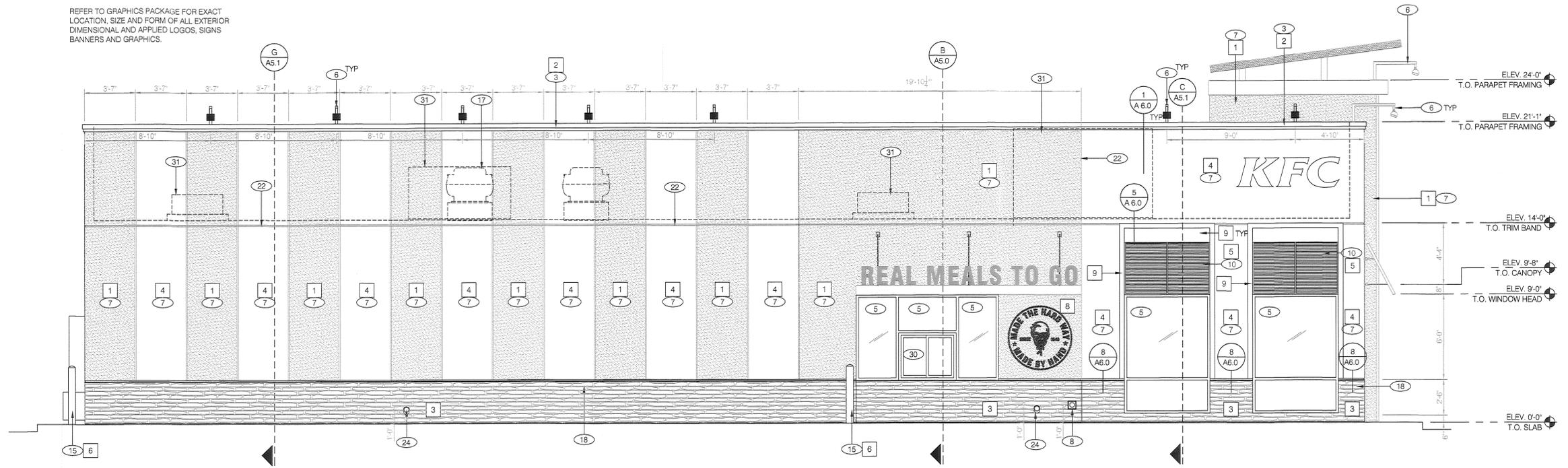
SHT. NO.

FDP-13

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 BUILDING ELEVATIONS
 SHEET 14 OF 21

NOTE:

REFER TO GRAPHICS PACKAGE FOR EXACT LOCATION, SIZE AND FORM OF ALL EXTERIOR DIMENSIONAL AND APPLIED LOGOS, SIGNS BANNERS AND GRAPHICS.



EAST ELEVATION 1/4"=1'-0" **A**

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT
1	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT MATCH DRYVIT #117 COLONIAL TAN SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
2	EXTERIOR METAL	BENJAMIN MOORE	COROTECH POLYSESTER URETHANE 2125-70 WEDDING VEIL (V520) GLOSS CATALYST			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
3	BACK OF HOUSE WALLS / WAINSCOT / CURB	BORAL CULTURED STONE	CHARDONNAY, COUNTRY LEDGESTONE			
4	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT, COLOR TO MATCH SHERWIN WILLIAMS CREAMY 7012 SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			
5	EXTERIOR METAL		PRE-FINISHED BY VENDOR			
6	BOLLARDS		PVC SLEEVE VERIFY COLOR W/ OWNER			
7	PAINTED METAL	BENJAMIN MOORE	COROTECH POLYSESTER URETHANE NIGHT HORIZON 2134-10 GLOSS CATALYST, COROTECH PRIMER (V132)			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
8	PAINTED STENCIL		BLACK			
9	PAINTED BORDER	BENJAMIN MOORE	AURA EXTERIOR PAINT, NIGHT HORIZON 2134-10 MOORE 2132-30 BLACK HORIZON SATIN FINISH EARTH TONES MASONRY SUBSTRATE PRIMER, NO88: GLAZED TILE SUBSTRATE PRIMER SXA-110			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com

EXTERIOR FINISH SCHEDULE **F**

MISCELLANEOUS:
 A. SEE SHEET A1.1 "WINDOW TYPES" FOR WINDOW ELEVATIONS.
 B. PAINT COLOR SHOWN ARE COLOR REFERENCES FOR THE E.I.F.S. SUPPLIER.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

CRITICAL FINISH OPENINGS:
 BUILDING FINISH OPENINGS THAT ARE DESIGNATED AS "CRITICAL" SHALL BE MAINTAINED TO PROVIDE FOR THE STANDARD INSTALLATION OF STANDARD SIGNAGE / BUILDING ELEMENTS. SEE GENERAL NOTE FOR VENDOR PROVIDED / VENDOR INSTALLED ELEMENTS.

THIN BRICK INSTALLATION:
 THE GENERAL CONTRACTOR TO ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL, AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:
 GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

GENERAL NOTES **D**

- 1 NOT USED.
 - 2 NOT USED.
 - 3 PARAPET FASCIA CAP.
 - 4 NOT USED.
 - 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
 - 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
 - 7 7/8" CEMENT PLASTER SYSTEM. REFER TO EXTERIOR FINISH SCHEDULE FOR COLORS AND A6 SHEETS FOR DETAILS.
 - 8 HOSE BIB - REFER TO DETAIL 5 / A6.2.
 - 9 CO2 FILLER VALVE & COVER.
 - 10 RED METAL AWNING, PAINT NIGHT HORIZON BEHIND AWNINGS
 - 11 NOT USED.
 - 12 INDICATES TOP OF ROOF DECK.
 - 13 NOT USED.
 - 14 NOT USED.
 - 15 STEEL BOLLARD W/ PVC SLEEVE. SEE SITE DETAILS.
 - 16 NOT USED.
 - 17 EXHAUST FANS ON ROOF.
 - 18 THIN BRICK SOLDIER COURSE.
 - 19 TRANSITION FROM THIN BRICK -to- STUCCO
 - 20 TOWER LID CANOPY
 - 21 NOT USED.
 - 22 REVEAL IN STUCCO. SEE DETAIL 7 / A6.0.
 - 23 NOT USED.
 - 24 ROOF DRAIN OVERFLOW LEADER. SEE DETAIL 16 / A6.0.
 - 25 STAINLESS STEEL CORNER GUARDS.
 - 26 HANDICAP SIGNAGE, MOUNT AT 5'-0" A.F.F.
 - 27 SECURITY DOOR. OWNER-SUPPLIED / G.C. INSTALL.
 - 28 EXTERIOR FINISH DIMENSION, TYPICAL.
 - 29 STUCCO CONTROL JOINT. PROVIDE PER MFRG RECOMMENDATIONS
 - 30 DRIVE THRU WINDOW; SEE <B-120>, SHEET A2.1.
 - 31 ROOF TOP EQUIPMENT BEYOND PARAPET COMPLIES WITH LDC 21-7602(2)
 - 32 GAS METER, PAINT TO MATCH THE BUILDING. COORDINATE WITH THE UTILITY CO.
 - 33 ELECTRICAL SERVICE, PAINT TO MATCH THE BUILDING
- NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

KEY NOTES **B**

KFC @ FIRESTONE CITY CENTRE	
BUILDING ELEVATIONS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	

JOB NO.: 16-KFC-004
 SCALE: 1/4"=1'-0"
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

APPROVED TENANT

SHT. NO.

FDP-14

NEAR
DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212

LOS ALTOS

COLORADO

KFC

FIRESTONE CITY CENTRE

LOT 4

FIRESTONE

CALIFORNIA

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 BUILDING ELEVATIONS
 SHEET 15 OF 21

DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212

LOS ALTOS CALIFORNIA

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COLORADO

KFC
 FIRESTONE CITY CENTRE
 LOT 4

FIRESTONE

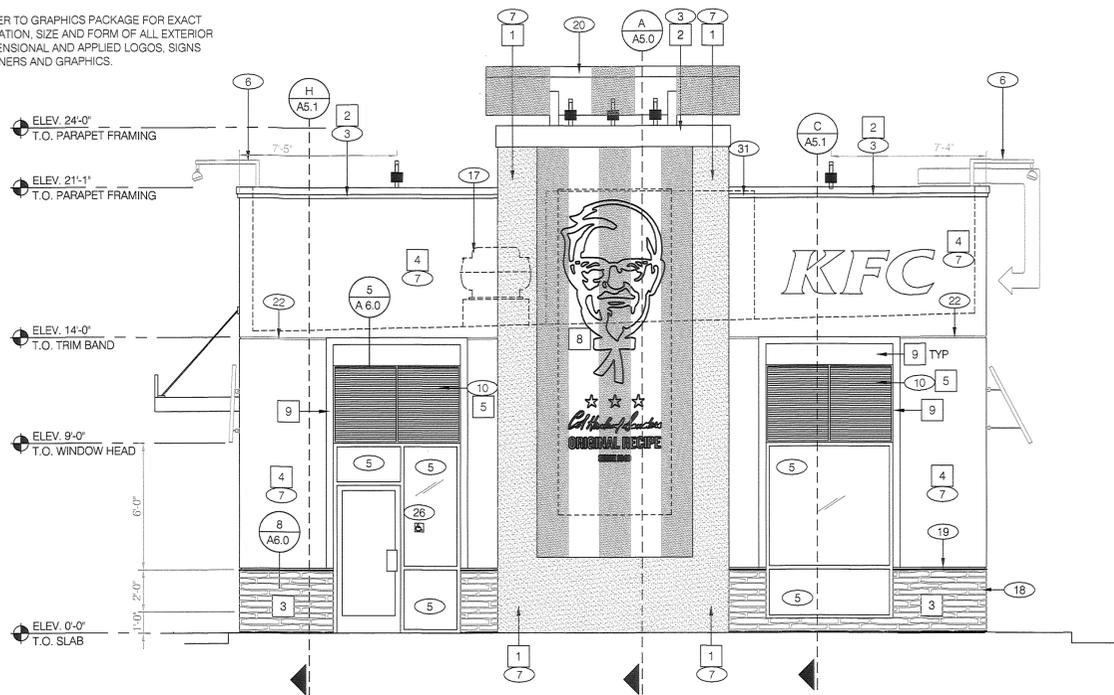
JOB NO.: 16-KFC-004
 SCALE: 1/4"=1'-0"
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

APPROVED TENANT

SHT. NO.

FDP-15

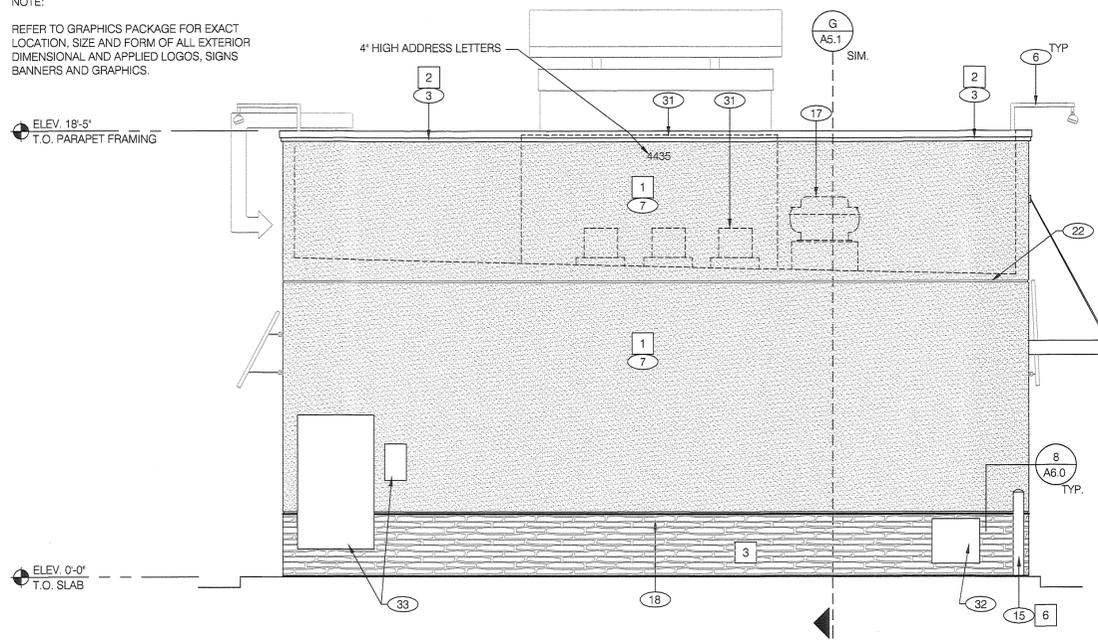
NOTE:
 REFER TO GRAPHICS PACKAGE FOR EXACT LOCATION, SIZE AND FORM OF ALL EXTERIOR DIMENSIONAL AND APPLIED LOGOS, SIGNS BANNERS AND GRAPHICS.



NOTE:
 SIGNAGE AND BUILDING ELEMENTS ARE NOT SHOWN ON THIS SHEET.
 REFER TO 'VENDOR SUPPLIED / INSTALLED ELEMENTS' GENERAL NOTE; THIS SHEET.

NORTH ELEVATION 1/4"=1'-0" **G**

NOTE:
 REFER TO GRAPHICS PACKAGE FOR EXACT LOCATION, SIZE AND FORM OF ALL EXTERIOR DIMENSIONAL AND APPLIED LOGOS, SIGNS BANNERS AND GRAPHICS.



NOTE:
 SIGNAGE AND BUILDING ELEMENTS ARE NOT SHOWN ON THIS SHEET.
 REFER TO 'VENDOR SUPPLIED / INSTALLED ELEMENTS' GENERAL NOTE; THIS SHEET.

SOUTH ELEVATION 1/4"=1'-0" **A**

SYMBOL	EXTERIOR WALL AREA	MANUFACTURER	COLOR	ALTERNATE MFR.	ALTERNATE COLOR	CONTACT
1	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT MATCH DRYVIT #117 COLONIAL TAN SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
2	EXTERIOR METAL	BENJAMIN MOORE	COROTECH POLYESTER URETHANE 2125-70 WEDDING VEIL (V520) GLOSS CATALYST			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
3	BACK OF HOUSE WALLS / WAINSCOT / CURB	BORAL CULTURED STONE	CHARDONNAY, COUNTRY LEDGESTONE			
4	EXTERIOR PAINT	BENJAMIN MOORE	AURA EXTERIOR PAINT, COLOR TO MATCH SHERWIN WILLIAMS CREAMY 7012 SATIN (631) 100% ACRYLIC HYBRID RESIN SELF PRIMING			
5	EXTERIOR METAL		PRE-FINISHED BY VENDOR			
6	BOLLARDS		PVC SLEEVE VERIFY COLOR W/ OWNER			
7	PAINTED METAL	BENJAMIN MOORE	COROTECH POLYESTER URETHANE NIGHT HORIZON 2134-10 GLOSS CATALYST, COROTECH PRIMER (V132)			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com
8	PAINTED STENCIL		BLACK			
9	PAINTED BORDER	BENJAMIN MOORE	AURA EXTERIOR PAINT, NIGHT HORIZON 2134-10 MOORE 2132-30 BLACK HORIZON SATIN FINISH EARTH-TONES MASONRY SUBSTRATE PRIMER NO68 GLAZED TILE SUBSTRATE PRIMER SXA-110			KURT MCCLELLAND P: (800) 635-5147 C: (502) 640-1608 kurt.mcclelland@benjaminmoore.com

EXTERIOR FINISH SCHEDULE **F**

MISCELLANEOUS:

- A. SEE SHEET A1.1 'WINDOW TYPES' FOR WINDOW ELEVATIONS.
- B. PAINT COLOR SHOWN ARE COLOR REFERENCES FOR THE E.I.F.S. SUPPLIER.

SEALERS (REFER TO SPECS):

- A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
- B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD AND JAMB. DO NOT SEAL SILL AT WINDOWS.

CRITICAL FINISH OPENINGS:

BUILDING FINISH OPENINGS THAT ARE DESIGNATED AS 'CRITICAL' SHALL BE MAINTAINED TO PROVIDE FOR THE STANDARD INSTALLATION OF STANDARD SIGNAGE / BUILDING ELEMENTS. SEE GENERAL NOTE FOR VENDOR PROVIDED / VENDOR INSTALLED ELEMENTS.

THIN BRICK INSTALLATION:

THE GENERAL CONTRACTOR TO ENSURE THAT THE BRICK JOINTS ARE PLUMB AND LEVEL AND THE BRICK FACES ALIGNED AND FLUSH.

VENDOR SUPPLIED / INSTALLED ELEMENTS:

GC TO COORDINATE WITH VENDOR PROVIDED / VENDOR INSTALLED SIGNAGE AND BUILDING ELEMENTS.

- 1 NOT USED.
- 2 NOT USED.
- 3 PARAPET FASCIA CAP.
- 4 NOT USED.
- 5 ALUMINUM STOREFRONT WINDOW / DOOR SYSTEM. SEE SHEET A1.1.
- 6 WALL LIGHTING - LIGHTING VENDOR SUPPLIED / GC INSTALLED. SEE SHEET E4.0.
- 7 7/8" CEMENT PLASTER SYSTEM. REFER TO EXTERIOR FINISH SCHEDULE FOR COLORS AND A6 SHEETS FOR DETAILS.
- 8 HOSE BIB - REFER TO DETAIL 5 / A6.2.
- 9 CO2 FILLER VALVE & COVER.
- 10 RED METAL AWNING, PAINT NIGHT HORIZON BEHIND AWNINGS.
- 11 NOT USED.
- 12 INDICATES TOP OF ROOF DECK.
- 13 NOT USED.
- 14 NOT USED.
- 15 STEEL BOLLARD W/ PVC SLEEVE. SEE SITE DETAILS.
- 16 NOT USED.
- 17 EXHAUST FANS ON ROOF.
- 18 THIN BRICK SOLDIER COURSE.
- 19 TRANSITION FROM THIN BRICK -to- STUCCO.
- 20 TOWER LID CANOPY.
- 21 NOT USED.
- 22 REVEAL IN STUCCO. SEE DETAIL 7 / A6.0.
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- 24 ROOF DRAIN OVERFLOW LEADER; SEE DETAIL 16 / A6.0.
- 25 STAINLESS STEEL CORNER GUARDS.
- 26 HANDICAP SIGNAGE; MOUNT AT 5'-0" A.F.F.
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- 28 EXTERIOR FINISH DIMENSION, TYPICAL.
- 29 STUCCO CONTROL JOINT. PROVIDE PER MFRG RECOMMENDATIONS.
- 30 DRIVE THRU WINDOW; SEE <B-120>, SHEET A2.1.
- 31 ROOF TOP EQUIPMENT BEYOND PARAPET COMPLIES WITH LDC 21-7602(2).
- 32 GAS METER, PAINT TO MATCH THE BUILDING, COORDINATE WITH THE UTILITY CO.
- 33 ELECTRICAL SERVICE, PAINT TO MATCH THE BUILDING.

NOTE: NOT ALL KEY NOTES APPLY TO THIS SHEET

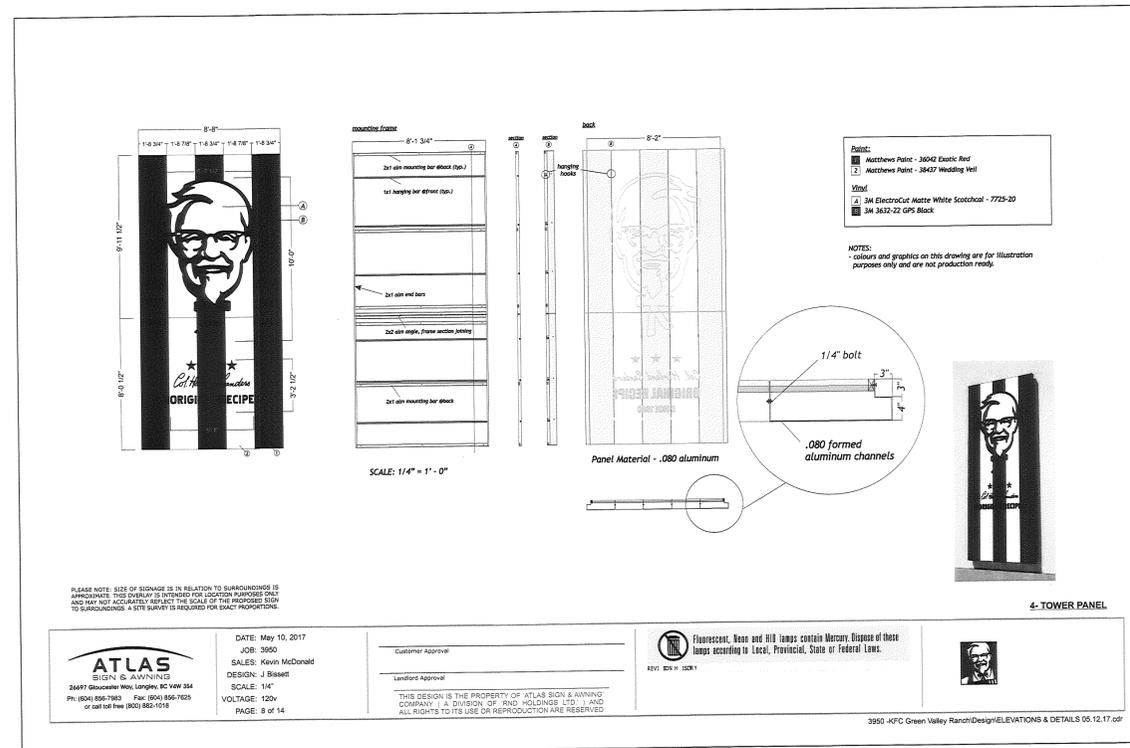
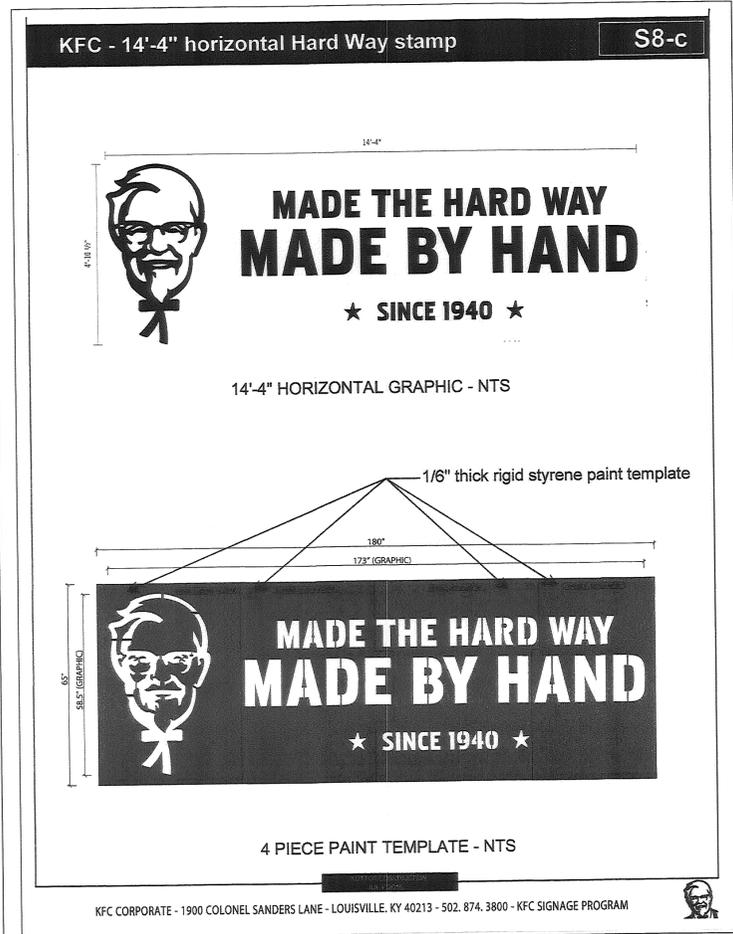
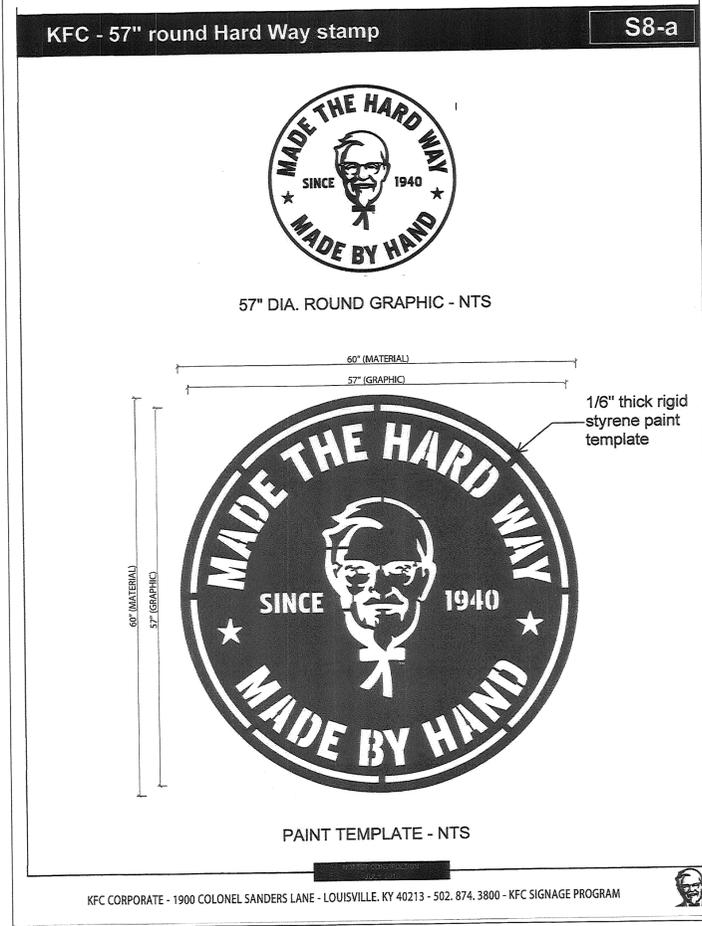
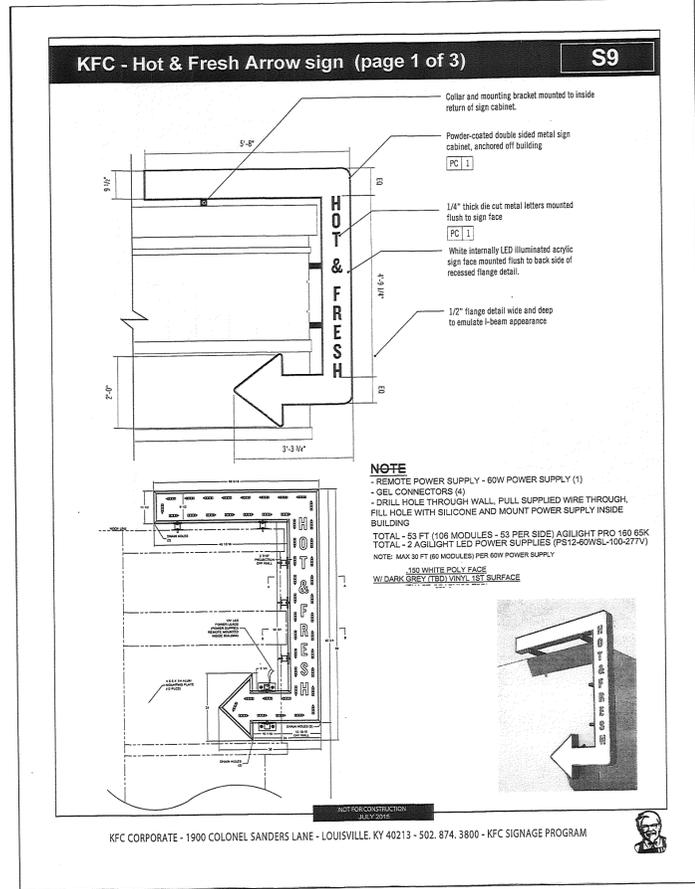
KEY NOTES

B

GENERAL NOTES **D**

KFC @ FIRESTONE CITY CENTRE BUILDING ELEVATIONS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 SIGN DETAILS
 SHEET 17 OF 21



NEAR DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

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KFC
 FIRESTONE CITY CENTRE
 LOT 4
 COLORADO
 FIRESTONE

JOB NO.: 16-KFC-004
 SCALE: 1/4"=1'-0"
 DATE: 3-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

KFC @ FIRESTONE CITY CENTRE SIGN DETAILS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	

APPROVED TENANT
 SHT. NO.
FDP-17
 SHEET 17 OF 21

FINAL DEVELOPMENT PLAN
KFC AT FIRESTONE CITY CENTRE
 SIGN DETAILS
 SHEET 18 OF 21

NEAR
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COLORADO

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 FIRESTONE

JOB NO.: 16-KFC-004
 SCALE: 1/4" = 1'-0"
 DATE: 5-7-17
 DRAWN: SLB
 CHECKED: EEN/KST

KFC @ FIRESTONE CITY CENTRE SIGN DETAILS	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
PHASE NUMBER:	
PREPARATION DATE:	5-7-17
REVISION DATE:	5-22-17
REVISION DATE:	8-10-17
REVISION DATE:	
REVISION DATE:	

APPROVED TENANT

SHT. NO.
FDP-18

SHEET 18 OF 21

DIRECTIONAL SIGN #1

DIRECTIONAL SIGN #2

Rich Red 3M Vinyl - 3630-53
 MATTHEWS PAINT - BLACK

9-DIRECTIONAL SIGNS - 2 REQUIRED

ATLAS SIGN & AWNING
 2649 Gloucester Way, Longue, CO 80434
 Ph: (854) 856-7843 Fax: (854) 856-7825
 or call toll free (800) 882-1019

DATE: May 10, 2017
 JOB: 3950
 SALES: Kevin McDonald
 DESIGN: J Bissett
 SCALE: 1"
 VOLTAGE: 120V
 PAGE: 13 of 14

Customer Approval: _____
 Landlord Approval: _____

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3950 KFC Green Valley Ranch/Design/ELEVATIONS & DETAILS 05.12.17.dwg

DT ORDER POINT CANOPY BOLT SECTION DETAIL

TOP PLATE DETAIL

PROFILE 1/4" SCALE

BASE PLATE DETAIL - NTS

BOTTOM VIEW

7-DRIVE THRU ORDER CANOPY

ATLAS SIGN & AWNING
 2649 Gloucester Way, Longue, CO 80434
 Ph: (854) 856-7843 Fax: (854) 856-7825
 or call toll free (800) 882-1019

DATE: May 10, 2017
 JOB: 3950
 SALES: Kevin McDonald
 DESIGN: J Bissett
 SCALE: 3/8"
 VOLTAGE: 120V
 PAGE: 11 of 14

Customer Approval: _____
 Landlord Approval: _____

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3950 KFC Green Valley Ranch/Design/ELEVATIONS & DETAILS 05.12.17.dwg

FRONT VIEW
 Scale: 3/8" = 1'-0"

INTERLOCKING PICKETS @ PVC FENCE ASSEMBLED BLOCK

HORIZONTAL RAILS (W/ METAL CHANNELS INSIDE, TYP.)

DIRECT PRINT TO MATCH BM BLACK HORIZON 2132-30

BILL OF MATERIALS

TAG	DESCRIPTION
MT9	4x4x8" STEEL TUBING
P12	MATTE BLACK

REVISIONS

NO.	DESCRIPTION	DATE
1	X	XX-XX-XX

AMERICAN SHOWMAN JUNE 2015
KFC B8

Page 1 (of) 1

SCREEN WALL BEHIND DT MENU

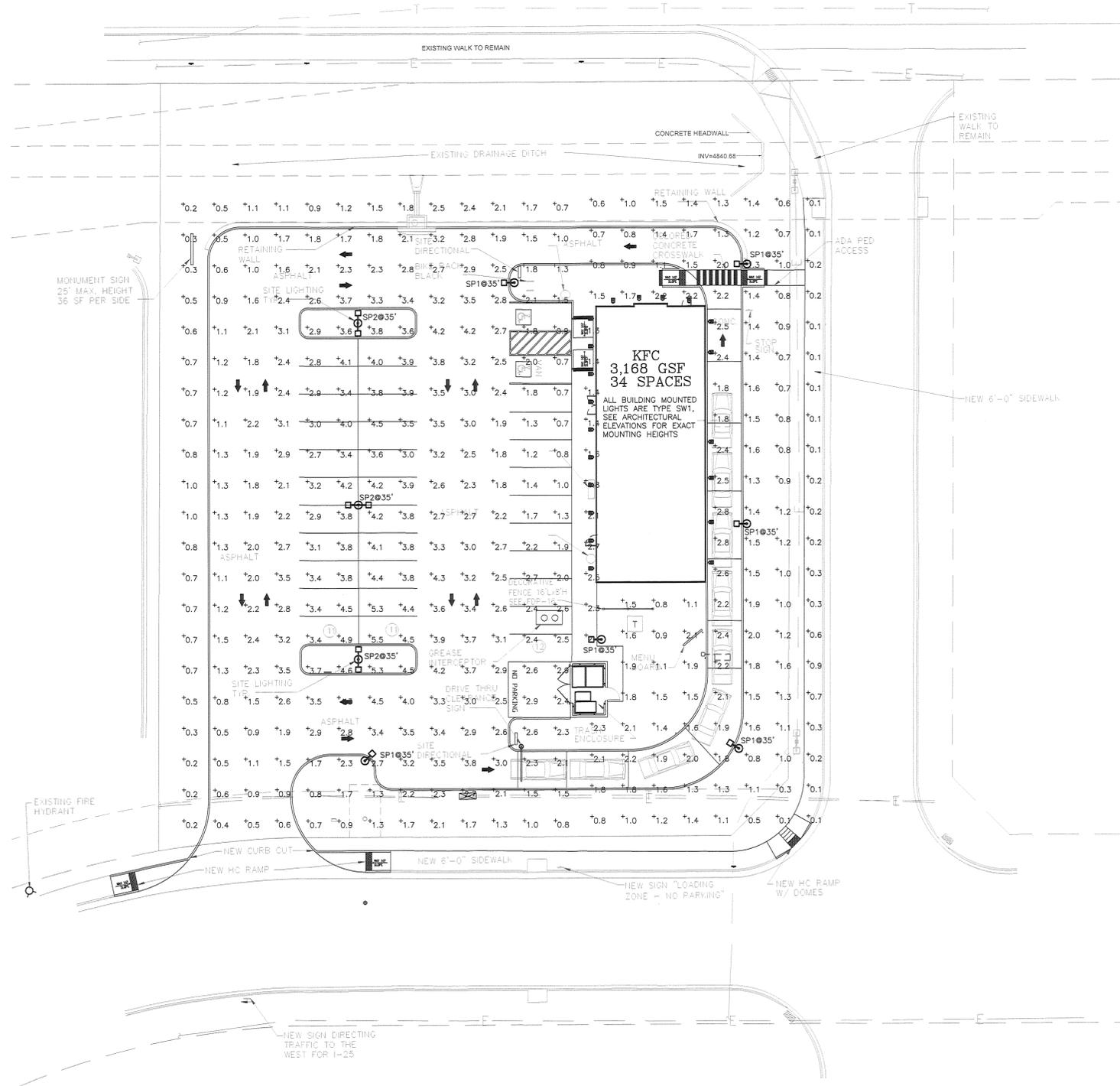
FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE PHOTOMETRIC PLAN SHEET 20 OF 21

NEAR
 DESIGN & PLANNING INC.

HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

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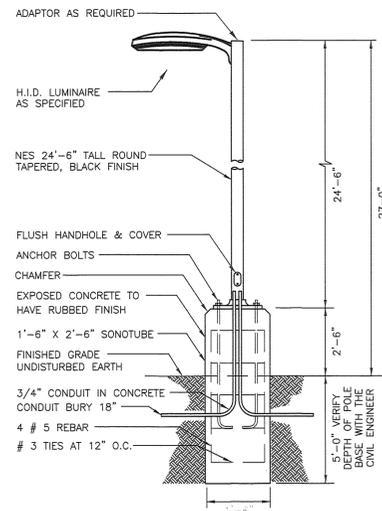
KFC
 FIRESTONE CITY CENTRE
 LOT 4
 COLORADO
 FIRESTONE



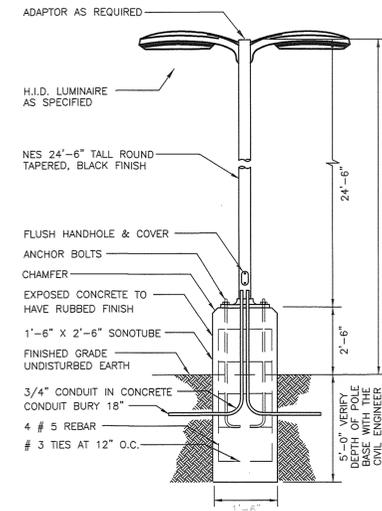
IO-FOOTCANDLE SITE LIGHTING PLAN
 SCALE: 1"=20'-0"
 NORTH

SCHEDULE								
LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	NUMBER LAMPS	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
SP1	6	CREE LIGHTING	OSQ-A-NM-4ME-B-50K-UL-BK-*	19"Wx3.8"Hx25"L, OSQ SERIES LED AREA LIGHT, BLACK FINISH, 24"-6" POLE BLACK FINISH, CONTROLS PER LOCAL CODES AND SHOPPING CENTER STANDARDS, TYPE 4 MED DISTRIBUTION	1	7179.965	1	80.47
SP2	3	CREE LIGHTING	OSQ-A-NM-4ME-B-50K-UL-BK-*	19"Wx3.8"Hx25"L, OSQ SERIES LED AREA LIGHT, BLACK FINISH, 24"-6" POLE BLACK FINISH, CONTROLS PER LOCAL CODES AND SHOPPING CENTER STANDARDS, TYPE 4 MED DISTRIBUTION	1 PER HEAD	7179.965	1	160.94
SW1	20	AMERLUX EXTERIOR	VARIETA FL1-SQF-40-4000K-BLK-EGS-DM-WM14	VARIETA ACCENT LIGHT, ALUMINUM HOUSING, FLAT GLASS, 180° TILT, 360° ROTATION, BLACK FINISH, EXTERNAL GLARE SHIELD, 1 LED DRIVER 4000K, EXTERIOR WALL MOUNTED PER CORPORATE STANDARDS	1	2784.815	0.75	31

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
DRIVE THRU	+	1.3 fc	2.8 fc	0.1 fc	28.0:1	13.0:1
PARKING LOT	+	2.3 fc	5.5 fc	0.2 fc	27.5:1	11.5:1



LIGHT POLE DETAIL
 NOT TO SCALE
 SITE LIGHTING NOTE:
 LIGHT POLES AND DETAILS SHALL BE CONSISTENT WITH ADJACENT DEVELOPMENTS WITHIN THE FIRESTONE CITY CENTER DEVELOPMENT.



LIGHT POLE DETAIL
 NOT TO SCALE
 SITE LIGHTING NOTE:
 LIGHT POLES AND DETAILS SHALL BE CONSISTENT WITH ADJACENT DEVELOPMENTS WITHIN THE FIRESTONE CITY CENTER DEVELOPMENT.

PHOTOMETRIC CALCULATION DISCLAIMER:
 LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.

EXTERIOR LIGHTING DESIGN CONCEPTS:

- CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED VISUAL 2.08.0148.
- THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLE LEVELS FOR ENHANCED SECURITY CONDITIONS.
- PROPOSED LIGHT FIXTURES AND LIGHT LEVELS ARE TO BE IN ACCORDANCE WITH ALL LOCAL REQUIREMENTS.

EXTERIOR LIGHTING NOTES:

- LIGHT FIXTURES SHALL BE INSTALLED AND MAINTAINED IN A MANNER CONSISTENT WITH THE LIGHTING PLAN APPROVED BY THE CITY PLANNING DEPARTMENT. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE LIGHTING FIXTURES ON THEIR PROPERTY.
- REFER TO LANDSCAPE PLANS FOR MATURE HEIGHT OF EXISTING AND PROPOSED TREES.
- REFER TO ARCHITECTURAL ELEVATIONS FOR BUILDING HEIGHT INFORMATION.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE OPERATED BY ASTRONOMICAL TIME CLOCK OR PHOTOCELL.
- POST-CURFEW LIGHT LEVELS FOR PARKING LOTS SHALL BE REDUCED BY AT LEAST 50% ENTRY LIGHTS MAY BE LEFT ON.
- FACILITIES & SITE DEVELOPMENT OF THIS SITE ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS AND STANDARDS USING THE CITY CONSTRUCTION DETAILS.
- ALL OUTSIDE LIGHT SOURCES SHALL CONFORM TO ALL LOCAL ZONING & DEVELOPMENT CODES.
- PARKING LOT LIGHTS SHALL OPERATE DUSK TO PRE-SET OFF, SO THAT THEY EXTINGUISH ONE HOUR AFTER CLOSE OF BUSINESS OR NO LATER THAN 11 P.M.. BUILDING SECURITY LIGHTS WILL OPERATE FROM DUSK TO DAWN.

KFC @ FIRESTONE CITY CENTRE PHOTOMETRIC PLAN	
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	
PHASE NUMBER:	
PREPARATION DATE:	3-7-17
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REVISION DATE:	
REVISION DATE:	

JOB NO.: 16-KFC-004
 SCALE: 3-7-17
 DATE: BCE
 DRAWN: BCE
 CHECKED: BCE

APPROVED
 TENANT
 SHT. NO.
 FDP-20
 SHEET 20 OF 21

OSQ Series

OSQ™ LED Area/Flood Luminaire - Medium

Product Description

The OSQ™ Area/Flood Luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatheright LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The 'B' Input power designator is a suitable upgrade for HID applications up to 250 Watt, and the 'K' Input power designator is a suitable upgrade for HID applications up to 400 Watt.

Applications: Parking lots, walkways, campuses, car dealerships, office complexes, and internal roadways

Performance Summary

- NanoOptic® Precision Delivery Grid™ optic
- Made in the U.S.A. of U.S. and imported parts
- Initial Delivered Lumens: Up to 17,291
- Efficacy: Up to 136 LPW
- CRi: Minimum 70 CRI (4000K & 5700K; 3000K asymmetric optics); 80 CRI (3000K symmetric optical)
- CCT: 3000K (+/- 300K), 4000K (+/- 300K), 5700K (+/- 500K)
- Limited Warranty*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

*See <http://lighting.cree.com/warranty> for warranty terms.

Accessories

Field-Installed	Hand-Held Remote
Backlight Shield OSQ-BLSM - Front facing optics OSQ-BLSM - Rear facing optics	XA-SENREM - For successful implementation of the programmable multi-level option, a minimum of one hand-held remote is required.

Ordering Information

Fully assembled luminaire is composed of two components that must be ordered separately:
 Example: Mount: OSQ-450V - Luminaire: OSQ-A-NM-2ME-B-40K-UL-5V

Mount (Luminaires must be ordered separately)		Color Options	
OSQ-450-Adjustable Arm	Color Options	01 Silver	02 Bronze
OSQ-DA-Direct Arm		03 Black	04 White

Luminaire (Mount must be ordered separately)

OSQ	A	NM	4ME	B	30K	UN	BK	Options
Product	Version	Mounting	Optic	Input Power Designator	CCT	Voltage	Color Options	Options
OSQ	A	NM	Asymmetric	B	30K	UN	BK	DM 0-10V Dimming Control by others - Refer to DM_spec_sheet for details - Can't exceed wattage of specified input power designator F Fuse - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to ML_spec_sheet for details - High: 100%, Low: 30% - Available with UL voltage only - Intended for downlight applications PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML_spec_sheet for details - Available with UL voltage only - Intended for downlight applications at 0° tilt
OSQ	A	NM	Symmetric	B	30K	UN	BK	DM 0-10V Dimming Control by others - Refer to DM_spec_sheet for details - Can't exceed wattage of specified input power designator F Fuse - When code dictates fusing, use time delay fuse ML Multi-Level - Refer to ML_spec_sheet for details - High: 100%, Low: 30% - Available with UL voltage only - Intended for downlight applications PML Programmable Multi-Level, 20-40' Mounting Height - Refer to PML_spec_sheet for details - Available with UL voltage only - Intended for downlight applications at 0° tilt

* Available with Backlight Shield when ordered with field-installed accessories (see table above)



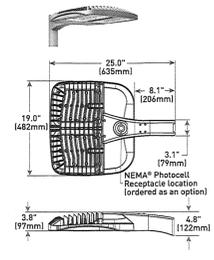
Rev. Date: V11 09/27/2016



Canada: www.cree.com/canada T (800) 473-1234 F (800) 890-7507

TYPE SP1 AND AP2

DA Mount



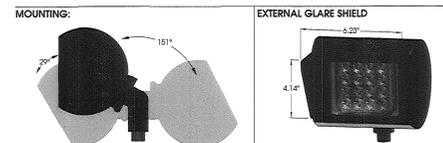
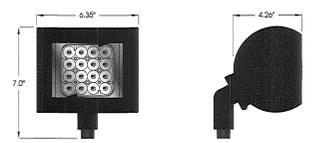
Weight
26.5 lbs. (12kg)

PROVIDE CONTROLS PER THE SHOPPING CENTERS STANDARDS AND ALL LOCAL CODES.

VARIETA FLOOD LIGHT SINGLE ARRAY

APPLICATION: Accent lighting for exterior retail, commercial and hospitality environments
CONSTRUCTION: Die-cast aluminum faceplate, Extruded aluminum enclosure, IP67 sealed optical modules
ELECTRICAL: Integral driver, Input voltage 120V-277V auto-sensing, Power consumption 31W, 1/2" NPT wire entry, Standard product is shipped as non-dimming unless specified

OPTICS: Lumen maintenance: 70% @ 50,000 hours, 1 lens module containing 16 LEDs available in a number of symmetric or asymmetric axial beam spread patterns
WEIGHT: 5 lbs
EPA: 0.25



Model	Light Distribution	CCT	CRi	Approx. Lumens	Total Efficacy	Finish	Accessories	Dimming Option?
FL1	NSP	30 (0.000K)	80	2,580	83 lm/W	Black		
		40 (0.000K)	80	2,580	84 lm/W	Black		
	HMS	30 (0.000K)	80	2,340	75 lm/W	Black		
		40 (0.000K)	80	2,340	76 lm/W	Black		
	VMS	30 (0.000K)	80	2,470	80 lm/W	Black		
		40 (0.000K)	80	2,470	81 lm/W	Black		
	HWS	30 (0.000K)	80	2,650	82 lm/W	Black		
		40 (0.000K)	80	2,650	83 lm/W	Black		
	VWS	30 (0.000K)	80	2,540	85 lm/W	Black		
		40 (0.000K)	80	2,540	86 lm/W	Black		
	SQS	30 (0.000K)	80	2,770	87 lm/W	Black		
		40 (0.000K)	80	2,770	88 lm/W	Black		
MFL	30 (0.000K)	80	2,650	85 lm/W	Black			
	40 (0.000K)	80	2,650	86 lm/W	Black			
HMF	30 (0.000K)	80	2,420	78 lm/W	Black			
	40 (0.000K)	80	2,420	79 lm/W	Black			
VMF	30 (0.000K)	80	2,550	81 lm/W	Black			
	40 (0.000K)	80	2,550	82 lm/W	Black			
VWF	30 (0.000K)	80	2,600	83 lm/W	Black			
	40 (0.000K)	80	2,600	84 lm/W	Black			
SOF	30 (0.000K)	80	2,870	92 lm/W	Black			
	40 (0.000K)	80	2,870	93 lm/W	Black			

Amerlux reserves the right to change details that do not affect overall function and performance.
www.amerlux.com • 5220 Shank Rd, Peabody, Texas 77581 • (714) 281-997-5400 • (714) 281-997-5441



PROJECT:
TYPE: SW1

Electrostatic sensitive device, observe precautions for handling

10 year limited warranty
AMERLUX LED

Part String

Example: FL1/NSP/30/BLK/EGS/DM

OSQ™ LED Area/Flood Luminaire - Medium

Product Specifications

- CONSTRUCTION & MATERIALS**
- Slim, low profile design minimizes wind load requirements
 - Luminaire housing is rugged die cast aluminum with an integral, weatheright LED driver compartment and high performance heat sink
 - Convenient interlocking mounting method on direct arm mount
 - Mounting adaptor is rugged die cast aluminum and mounts to 3-4" (76-102mm) square or round pole, secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers
 - Mounting for the adjustable arm mount adaptor is rugged die cast aluminum and mounts to 2" (51mm) IP, 2.375" (60mm) O.D. tenon
 - Adjustable arm mount can be adjusted 180° in 2.5" increments
 - Designed for uplight and downlight applications
 - Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Silver, bronze, black, and white are available
 - Weight: 26.5 lbs. (12kg)

ELECTRICAL SYSTEM

- Input Voltage: 120-277V or 347-480V, 50/60Hz, Class 1 drivers
- Power Factor: > 0.9 at full load
- Total Harmonic Distortion: < 20% at full load
- Integral 10kV surge suppression protection standard
- When code dictates fusing, a slow blow fuse or type C/D breaker should be used to address inrush current
- 10V Surge Currents: 0.15mA

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without R option
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 30 bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE/ANSI C62.41.2
- Meets FCC Part 15, Subpart B, Class A standards for conducted and radiated emissions
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Meets Sky American requirements within ABRA
- DLC and DLC Premium qualified versions available. Some exceptions apply. Please refer to www.designlights.org/DPL for most current information
- RoHS compliant. Consult factory for additional details
- Dark Sky Friendly, IDA Approved when ordered with 30K CCT. Please refer to <http://darksky.org/isa/isa-products/> for most current information

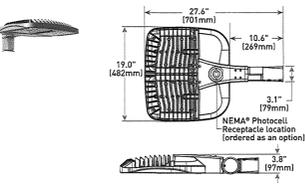
Electrical Data*		Total Current (A)				
Input Power Designator	System Watts	120V	208V	240V	277V	347V
B	86	0.73	0.43	0.37	0.32	0.25
K	130	1.09	0.65	0.56	0.49	0.38

* Electrical data at 25°C (77°F). Actual wattage may differ by +/- 10% when operating between 120-480V +/- 10%

Recommended OSQ Series Lumen Maintenance Factors (LMF)					
Ambient	Optic	Initial LMF	25K hr Projected LMF	50K hr Projected LMF	75K hr Projected LMF
5°C (41°F)	Asymmetric	1.04	0.99	0.93	0.89
	Symmetric	1.05	1.00	0.94	0.90
10°C (50°F)	Asymmetric	1.03	0.98	0.93	0.88
	Symmetric	1.04	0.99	0.94	0.91
15°C (59°F)	Asymmetric	1.02	0.97	0.92	0.87
	Symmetric	1.02	0.98	0.94	0.89
20°C (68°F)	Asymmetric	1.01	0.96	0.91	0.86
	Symmetric	1.01	0.96	0.92	0.88
25°C (77°F)	Asymmetric	1.00	0.95	0.90	0.85
	Symmetric	1.00	0.95	0.91	0.88

* Lumen maintenance values at 25°C (77°F) are calculated per TM-21 based on LM-80 data and in-situ luminaire testing for accordance with IESNA LM-79-11. Projected Values represent extrapolated values based on time duration that are within six times (6x) the IESNA LM-80 test time duration (50 hours) for the device under testing (DUT) i.e. the packaged LED chip.
 * In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times (6x) the IESNA LM-80 test time duration (50 hours) for the device under testing (DUT) i.e. the packaged LED chip

AA Mount



Weight
26.5 lbs. (12kg)

PROVIDE MOUNTING FOR AN "NES" 24"-6" TALL TAPERED ROUND POLE, BLACK IN COLOR



US: lighting.cree.com/lighting T (800) 234-6800 F (242) 504-5415

Canada: www.cree.com/canada T (800) 473-1234 F (800) 890-7507

FINAL DEVELOPMENT PLAN KFC AT FIRESTONE CITY CENTRE PHOTOMETRIC CUT SHEETS

SHEET 21 OF 21

DESIGN & PLANNING INC. NEAR
 HARMAN MANAGEMENT CORPORATION
 199 FIRST ST. #212
 LOS ALTOS CALIFORNIA

COLORADO

KFC
 FIRESTONE CITY CENTRE
 LOT 4
 FIRESTONE

JOB NO.: 16-KFC-004
 SCALE:
 DATE: 3-7-17
 DRAWN: BCE
 CHECKED: BCE

KFC @ FIRESTONE CITY CENTRE PHOTOMETRIC CUT SHEETS		APPROVED TENANT
NAME OF SUBMITTAL:	KFC @ FIRESTONE CITY CENTRE	
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN	
FILING NUMBER:		
PHASE NUMBER:		
PREPARATION DATE:	3-7-17	
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SHT. NO.
FDP-21