

FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

COVER SHEET

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO

SHEET 1 of 16

FILING NO. 7 LEGAL DESCRIPTION:

THAT PORTION OF THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE 6TH P.M., WELD COUNTY, COLORADO, DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 12 AND CONSIDERING THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SAID SECTION 12 TO BEAR SOUTH 89°31'25" EAST;

THENCE NORTH 37°22'17" EAST, A DISTANCE OF 2466.48 FEET TO THE POINT OF BEGINNING;
 THENCE NORTH 13°56'45" WEST, A DISTANCE OF 142.80 FEET;
 THENCE NORTH 28°56'38" EAST, A DISTANCE OF 20.22 FEET;
 THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 44.00 FEET AND A CENTRAL ANGLE OF 73°43'23", AN ARC DISTANCE OF 56.62 FEET (CHORD BEARS NORTH 11°03'30" WEST, 52.79 FEET);
 THENCE NORTH 51°03'37" WEST, A DISTANCE OF 26.25 FEET;
 THENCE NORTH 17°54'46" WEST, A DISTANCE OF 138.43 FEET;
 THENCE NORTH 86°37'26" WEST, A DISTANCE OF 117.46 FEET;
 THENCE NORTH 00°00'54" EAST, A DISTANCE OF 97.14 FEET;
 THENCE NORTH 47°58'58" EAST, A DISTANCE OF 59.33 FEET;
 THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 44.00 FEET AND A CENTRAL ANGLE OF 31°59'06", AN ARC DISTANCE OF 24.56 FEET (CHORD BEARS NORTH 14°42'53" WEST, 24.24 FEET);
 THENCE NORTH 61°40'38" WEST, A DISTANCE OF 65.90 FEET;
 THENCE NORTH 12°00'26" WEST, A DISTANCE OF 32.59 FEET;
 THENCE NORTH 00°01'57" EAST, A DISTANCE OF 113.66 FEET;
 THENCE ALONG THE NORTH LINE OF SAID SW 1/4 OF SECTION 12, SOUTH 89°58'03" EAST, A DISTANCE OF 1297.99 FEET;
 THENCE SOUTH 11°10'57" WEST, A DISTANCE OF 108.23 FEET;
 THENCE SOUTH 10°32'07" EAST, A DISTANCE OF 142.43 FEET;
 THENCE SOUTH 50°23'30" WEST, A DISTANCE OF 204.82 FEET;
 THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 523.00 FEET AND A CENTRAL ANGLE OF 09°56'52", AN ARC DISTANCE OF 90.80 FEET (CHORD BEARS SOUTH 34°38'04" EAST, 90.69 FEET);
 THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND A CENTRAL ANGLE OF 95°21'41", AN ARC DISTANCE OF 33.29 FEET (CHORD BEARS SOUTH 18°01'13" WEST, 29.58 FEET);
 THENCE SOUTH 65°42'03" WEST, A DISTANCE OF 53.69 FEET;
 THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 213.00 FEET AND A CENTRAL ANGLE OF 18°28'31", AN ARC DISTANCE OF 68.68 FEET (CHORD BEARS SOUTH 74°56'19" WEST, 68.39 FEET);
 THENCE NORTH 05°49'26" WEST, A DISTANCE OF 53.23 FEET;
 THENCE NORTH 36°06'40" WEST, A DISTANCE OF 58.39 FEET;
 THENCE NORTH 55°06'24" WEST, A DISTANCE OF 59.68 FEET;
 THENCE SOUTH 64°27'13" WEST, A DISTANCE OF 70.27 FEET;
 THENCE SOUTH 80°10'18" WEST, A DISTANCE OF 148.20 FEET;
 THENCE SOUTH 17°12'01" EAST, A DISTANCE OF 126.15 FEET;
 THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 267.00 FEET AND A CENTRAL ANGLE OF 06°19'37", AN ARC DISTANCE OF 29.48 FEET (CHORD BEARS SOUTH 58°41'51" WEST, 29.47 FEET);
 THENCE SOUTH 55°32'02" WEST, A DISTANCE OF 53.00 FEET;
 THENCE ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 20.00 FEET AND A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 31.42 FEET (CHORD BEARS NORTH 79°27'58" WEST, 28.28 FEET);
 THENCE SOUTH 55°32'02" WEST, A DISTANCE OF 54.00 FEET;
 THENCE NORTH 34°27'58" WEST, A DISTANCE OF 3.30 FEET;
 THENCE ALONG THE ARC OF A NON TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 584.00 FEET AND A CENTRAL ANGLE OF 09°24'32", AN ARC DISTANCE OF 95.90 FEET (CHORD BEARS NORTH 29°45'41" WEST, 95.80 FEET);
 THENCE SOUTH 65°44'10" WEST, A DISTANCE OF 196.01 FEET;
 THENCE SOUTH 70°00'20" WEST, A DISTANCE OF 213.56 FEET, TO THE POINT OF BEGINNING;

CONTAINING 636,235 SQUARE FEET OR 14.606 ACRES, MORE OR LESS,

OWNER'S ACCEPTANCE BLOCK

BY SIGNING THIS FDP, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL OF THE REQUIREMENTS AND INTENT SET FORTH HEREIN.

OWNER: I&J PARTNERSHIP, LP
 ISAAC MORADI
 GENERAL PARTNER

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
 COUNTY OF LOS ANGELES)

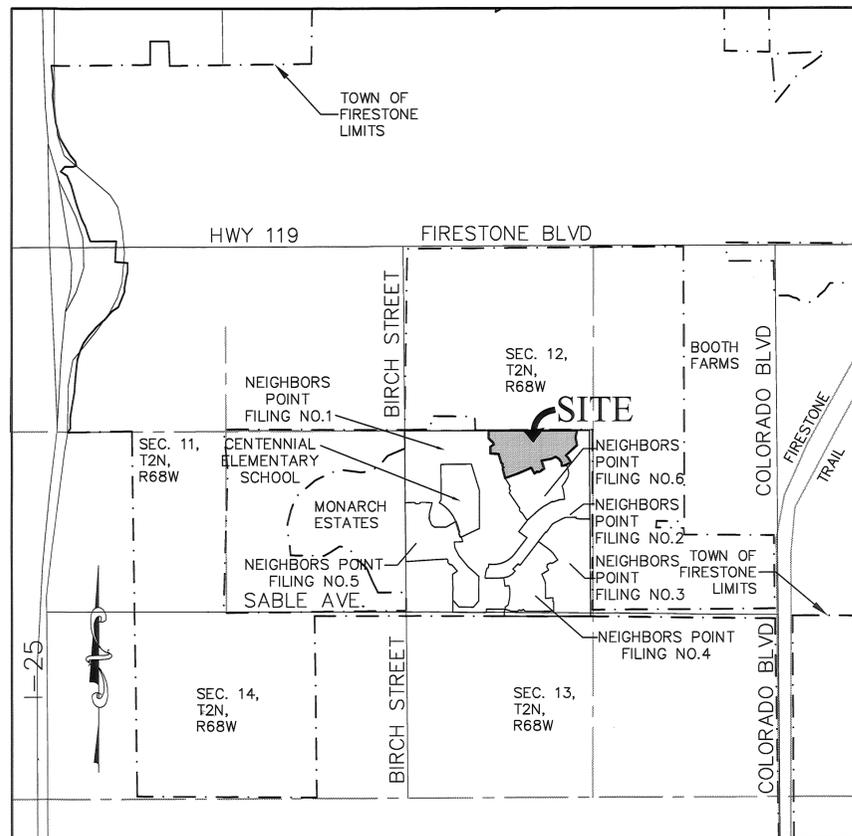
ON 06-08-2018, 2018 BEFORE ME, MAHSHID HOMAJONFAR KASHANI, A NOTARY PUBLIC, APPEARED ISAAC MORADI, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN HIS AUTHORIZED CAPACITY, AND THAT BY HIS SIGNATURE ON THE INSTRUMENT THE PERSON, OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE MAHSHID HOMAJONFAR KASHANI
 SIGNATURE OF NOTARY PUBLIC

(SEAL)



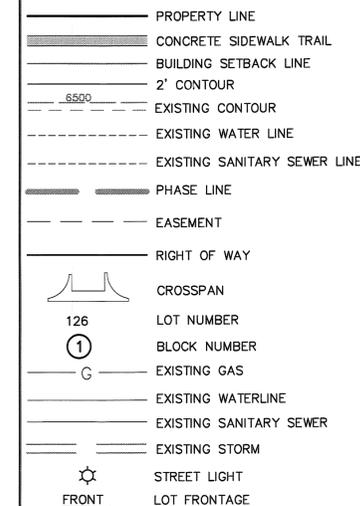
VICINITY MAP

1"=1200'

SHEET INDEX:

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LEGEND



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 DENVER, CO 80206

(303) 333-1105
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CONTACT: CHRIS McGRANAHAN

CERTIFICATE OF APPROVAL BY THE BOARD OF TRUSTEES

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO, THIS 28th DAY OF March, 20 18; BY RESOLUTION NO. 18-17

Robbi Sindella
 MAYOR



Leah Vanasdale
 ATTEST: TOWN CLERK

NEIGHBORS POINT FILING NO. 7 COVER SHEET	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Cover Sheet
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	
Sheet 1 of 16	

FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

COVER & NARRATIVE

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
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PROJECT CONCEPT

The overall Neighbors Point development consists of approximately 157 acres. Filing 7 is a planned residential community of 14.61 acres ("Filing 7"), which will provide 54 single family detached lots. Neighbors Point consists of a portion of the southwest quarter of Section 12, located near the northeast corner of the intersection of Sable Avenue and Birch Street. Filing 7 is located directly east of the open space area contained in Tract C, Filing 1 and north and west of Filing 6. Filing 7 will have two vehicular entrances into the community; one from Stagecoach Avenue and one from Chinook Street. Prominent surrounding land uses include Filings 1, 2 and concurrent Filing 6 of Neighbors Point, the Monarch Estates Subdivision located west of the Neighbors Point across Birch Street, and the Stoneridge Subdivision located to the south across Sable Avenue. The Sable Glen property is located east of Neighbors Point and is annexed and zoned Planned Unit Development with Residential-A land uses (PUD R-A). The undeveloped Cambria Crossing property is located to the north of Neighbors Point, and is annexed and zoned R-A and R-B adjacent to future Filing No. 7.

Cul-de-sacs adjacent to the park will be 'open' to allow for pedestrian access and enhance the visual connection to the park and front-range from internal streets.

Architecture, signs, fencing and other design elements will be integrated into a common theme, creating a strong sense of community. Project amenities shall be designed in a manner consistent with the community theme and may be screened or protected with fencing or landscape treatment as appropriate.

The development will feature attractive residential architecture incorporating steep roof pitches, varying roof lines, and materials including wood, brick and stone. Attractive site design features include undulating buffer areas, strong pedestrian connectivity, and streets designed to take advantage of open space and mountain views.

In all cases where this FDP conflicts with the Firestone Municipal Code ("Code") the FDP shall control.

LAND USE TABLE

In the following table "PLD" means Public Land Dedication

Land Use	Acres	Du/Ac	Units	% of Total Acreage	% of Units
Residential (Incl. Local ROW)					
Single Family Lots – Min. 7,000 Sq. Ft.			14		25.9%
Single Family Lots – Min. 8,500 Sq. Ft.			34		63.0%
Single Family Lots – Min. 10,500 Sq. Ft.			6		11.1%
Subtotal	14.61	3.7	54	100.0%	100.0%
TOTAL	14.61	3.7	54	100.0%	100.0%

Public Land Dedication Table

Filing	Area (AC)	Required PLD of 10% (AC)	Actual PLD (AC)	Difference/Credit Remaining for Future Filings (AC)	Description
1	62.44	6.24	27.87	21.63	
5	16.91	1.69	1.35	21.29	
2	16.8	1.68	1.53	21.14	
6	11.08	1.11	0.00	20.03	Direct access to the Filing No. 1 Tract C open space
7	14.61	1.46	0.00	18.57	Direct access to the Filing No. 1 Tract C open space

RESIDENTIAL DENSITIES

Filing 7 will have a gross density of 3.7 Dwelling Unit/Acres equating to 54 lots (breakdown as follows):

FILING	MIN. LOT SIZE	NO. OF LOTS
7	7,000 Square Feet	14
	8,500 Square Feet	34
	10,500 Square Feet	6
Sub-total: 54		

ENVIRONMENTAL IMPACT MITIGATION

A Phase 1: Environmental Site Assessment report was undertaken as part of the planning process for the Neighbors Point development ("Phase 1 Environmental Site Assessment", by The ERO Resources Corp., August 1999). As part of this process, environmental concerns and issues were identified to determine both the opportunities and constraints of the site. The report consists of a review of historical information, federal, state, and local records; interviews with persons knowledgeable of the property; and a site reconnaissance. Identified issues were addressed as part of the development of Filings 1 and 5. There are no environmental issues on the Filing 7 property.

PRIVATE MAINTENANCE AND ENFORCEMENT

It is anticipated that Filing 7 will be governed by an HOA.

PARKS, TRAILS AND OPEN SPACE

The Public Land Dedication requirement of 10% minimum of gross site area as stated in the Annexation Agreement has been met with credits applied from previous Filings, see under Land Use Table section.

SERVICE REQUIREMENTS:

Telephone: Century Link
 Cable: Comcast
 Gas: Black Hills Energy
 Schools: St. Vrain RE1J
 Rec: Carbon Valley Rec.
 Water: Town of Firestone
 Fire: Frederick-Firestone Fire Protection District
 Sanitation: St. Vrain Sanitation District
 Electricity: United Power
 Police: Town of Firestone

CONTROLS

Improvements shown within Filing 7 shall be completed with Filing 7. No tract dedications are proposed with Filing 7. The HOA will be governed by a set of bylaws and will enforce the CC&R's, which will be recorded by way of a Community Declaration.

DRAINAGE

The Neighbors Point subdivision consists of residential development including an Elementary School site and open space. The drainage system consists of streets, gutters, inlets, storm sewers, culverts, natural grass swales, and a detention pond. The onsite runoff from Filing 7 will flow to Detention Ponds 1 & 2 designed to contain the developed runoff from this site as constructed with previous filings. These ponds will release flows at or below historical rates. Refer to the "Final Drainage Report for Neighbors Point, Town of Firestone Colorado" dated September 2005, prepared by Peak Civil Consultants, Inc.

A filing specific drainage description is outlined below.

FILING	DESCRIPTION
7	The Stagecoach cul-de-sac drainage is conveyed to Detention Pond No. 1, the remainder of the drainage is conveyed east and south onto Filings No. 2 and 6 and then to Detention Pond No. 2.

UTILITIES

Circulation

The traffic study "Neighbors Point Traffic Impact Analysis, Firestone, Colorado", dated February 25, 2004, prepared by LSC Transportation Consultants, Inc. has been completed for this site. A supplemental traffic letter dated July 15, 2004 has also been prepared by LSC. There will not be an attached sidewalk constructed along streets in areas with an adjoining trail section. Street lights shall be downcast type consistent with the Town standards.

Water System

The Neighbors Point water distribution system consists of 8-inch and 12-inch water mains. A 12-inch water main extends through the project from Sable Avenue to the north property line. The connection points will be the existing 8-inch water main located in Stagecoach Avenue, and the future 8-inch water line in Chinook Street north of Filing No. 6 by the Central Weld County Water District. This water system will be looped within the site to provide adequate water supply and fire protection. Stub-outs for subsequent filings will be installed.

Water Meter Table		
Quantity	Size	Type
54	5/8"	Residential, Single Family
0	-	Irrigation

Sanitary Sewer System

The Neighbors Point sanitary sewer system is entirely a gravity system. It connects into two existing manholes. Approximately the west one-half of the site will connect to the existing manhole located in Birch Street at the northwest corner of the site. This existing 10-inch sanitary sewer outfalls to the west into the Godding Hollow trunk line. Approximately the east one-half of the site (including all of Filing 7) will connect to an existing manhole and trunk line located to the east of the site. The trunk lines convey flows north through the Cambria Crossing property and Booth Farms property to the existing 18-inch WCR 13 south trunk line. Wastewater from both systems, flow in District trunk-lines to the District wastewater treatment facility. The sanitary sewer system has been designed according to the St. Vrain Sanitation Dist. Standards. Stub-outs for subsequent filings will be installed.

A filing specific utility description is outlined below:

FILING	DESCRIPTION
7	Internal waterline to be connected to stubs built with Filing No. 2 and 6. Internal sanitary to be connected to stubs built with Filing No. 2 and 6.

WATER DEDICATION

In conjunction with the approval of this Final Plat, Final Development Plan and Subdivision Agreement for Neighbors Point, Filing 7, the developer shall dedicate water rights to the Town in accordance with requirements adopted by the Town Board of Trustees. The Town Of Firestone Has Determined The Required Raw Water Dedication To Be: Residential Demand (Single Family)

# Lots 0 - 10,000 Sf	48 @ 0.60 Acre-Feet/Lot	=	28.80
# Lots 10,001 - 12,500 Sf	4 @ 0.75 Acre-Feet/Lot	=	3.00
# Lots 12,501 - 15,000 Sf	1 @ 0.90 Acre-Feet/Lot	=	0.90
# Lots 15,501 - 17,500 Sf	1 @ 1.05 Acre-Feet/Lot	=	1.05
Total Lots	54		
Total Domestic Demand		=	33.75 Acre-Feet

Irrigation Demand (Tracts)

Irrigation Tract Area = 0.00 Acres x 2.20 Acre-Feet/Acre		=	0.00 Acre-Feet
Tract Irrigation Demand		=	0.00 Acre-Feet
Total Demand		=	33.75 Acre-Feet

A Total Of 34 Acre-Feet Shall Be Transferred To The Town Prior To Recording The Final Development Plan. This dedication shall be satisfied by applying 34 of the water dedication credits (each credit being 1.0 acre-foot) previously purchased in the water credit purchase agreement approved by resolution no. 18-09 for 75 water credits (credit no. 162-236) and by the water credit purchase agreement amendment no. 1 approved by resolution no. 18-13 for 45 water credits (credit no. 256-300) of which 60 credits remain in the water pool.

Prepared For:

I & J Partnership

c/o Mr. Cameron Grant
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Prepared By:



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NEIGHBORS POINT FILING NO. 7 COVER & NARRATIVE	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Cover & Narrative
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	June 15, 2018
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NEIGHBORS POINT FILING NO. 7
COVER & NARRATIVE
TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
SHEET 3 of 16

PARKING

Parking will meet all off-site parking requirements as outlined in the Town of Firestone Development Regulations, Code and as specified in this FDP. All parking areas and access drives will have an approved edge treatment and shall be paved and graded to assure proper drainage. Parking will also be provided along both sides of local streets.

ARCHITECTURE INTENT (Refer to FDP Sheet 15 for Building Elevations)

Intent

Architecture shall be of high quality design and construction. Architectural elements to be considered when assessing high quality are form and massing, materials, roofs, chimneys, windows, walls, lighting, decks and terraces.

Form and Massing

- The use of porches, decks, and inviting and attractive entries in conjunction with slope and grade variations are encouraged.
- No "mother-in-law" units shall be permitted within Neighbors Point
- No detached garages are permitted
- Garage cannot encroach into minimum building setbacks

Materials

- Materials chosen for the architecture within Neighbors Point shall be of high quality.
- Eighty-five percent of the exterior color treatment for all residential dwellings and accessory uses shall be muted (excluding glass treatment), unless otherwise approved by the Town Planner based on the unique architectural design of the.

Roofs

- Flat, mansard and A-frame roofs are prohibited.
- Roof pitches shall be in conformance with the Firestone Municipal Code (to include 5/12 and 6/12).
- Solar collectors shall lie flat on pitched roofs.
- Skylights shall be placed as a low profile against the roof and shall not be of a distinctive contrasting color.
- Asphalt shingles are allowed.

Windows

Reflective or mirrored window materials are prohibited.

Lighting

Light sources shall be shielded and directional. Sconce type lights and up-lighting are acceptable in the entry and community monumentation provided such lighting does not project into homes or oncoming traffic.

Grade Retention

Grading required in the development of a lot must be completed within the lot boundaries. Finished Floor elevations shall not exceed the approved finished floor elevation shown on the utility plans by more than one foot in height.

Building Design & Placement

The following siting standards and architectural intent shall apply.

1. The intent for home placement is to reduce the linear building planes for the constructed housing. A building plane shall be defined as a portion of straight roadway where five (5) or more homes in a row may have the same setback and elevations as viewed from the adjacent roadway. Housing in these locations and adjacent to public areas shall minimize the planar look for the housing by varying the building setback and varying the elevation of the home such that the same elevation is not used next to one another or across the street from one another.

2. A variety of shapes and forms, including architectural projections and detailing such as roof overhangs, bay and box windows, chimneys, stepped foundations, porches, dormers, gables, trims, window mullions and muntins and roof line changes should be incorporated in the design. Buildings should also be designed with a variety of materials with texture and depth including a mixture siding, stucco and masonry. A sufficient number of windows, fenestration, trims, multiple plans and design details shall be provided to add relief to the building facades.
3. Roof materials shall be dimensional asphalt shingle treatment roofs designed to provide increased contrast and shadows. The roof colors shall coordinate with or complement the main color of the structure.
4. The color and material palette shall be designed to ensure that the color of the housing roof, walls and other materials shall be earth tones that blend with the natural site conditions and minimize light reflective qualities.

ARCHITECTURE SPECIFIC

General Standards

Architectural standards will conform to town regulations and municipal code as they may be amended from time to time.

Elevations

Sample architectural elevations indicating the general architectural style homes are shown on Sheet 15. All homebuilders shall submit plans that are generally consistent with the noted sample elevations and meets the architectural and development standards noted below:

1. Generally, when looking at the Front of any lot, the Right Elevation is to the right of the Front, the Left Elevation is to the left of the Front and the Rear Elevation is opposite the Front of the lot (i.e. the Front Elevation).
2. Rock means rock, brick, stone or cultured stone.
3. All homes shall have a minimum of 25% of the entire front elevation (with the area of the garage also included in the calculation) in rock. The Town Planner in his sole discretion may reduce the requirement to 20%, if it can be demonstrated that the elevation does not need 25% to be aesthetically pleasing or to avoid a situation where rock would be required on the second story.
4. All homes shall meet the following architectural standards:
 - a. All lap siding shall be no less than 8-inches with no less than a 7-inch exposure.
 - b. All windows and building corners must have a minimum of a 4-inch trim board.
 - c. Roof materials shall be dimensional asphalt shingle treatment designed to provide increased contrast and shadows. The roof colors shall coordinate with or complement the main color of the structure.
 - d. Similar house elevations shall not be placed next to or directly across from one another.
 - e. Detached garages are not permitted.
 - f. All residential homes shall be "stick built" and have a minimum of a two car garage.
 - g. All homes shall have a minimum floor area of 1200 square feet for ranch plans (single story) and 1700 square feet for multi-level plans. Notwithstanding the foregoing, all homes on lots in excess of 10,000 square feet shall have a minimum floor area of 1800 square feet for multi-level plans. A minimum floor area of 1500 square feet for ranch plans is acceptable on such lots. In all cases the calculation of floor area does not include the floor area of any part of the garage, basement, attic, deck, patio or other similar accessory area.
 - h. All homes shall have a basement where technically feasible as determined by the Town Engineer. Where a basement is not feasible, the homes shall have "crawl spaces".

- i. Any elevation that has rock, brick or cultured stone at the base of the elevation, such material shall wrap around at least 2-feet on to the adjoining elevation.
5. Enhanced Elevation Option 1 shall mean the elevation shall have a minimum of 25% rock or cultured stone, with at least one window. All windows shall have shutters. The Town Planner in his sole discretion may, on a case by case basis, waive the requirement for a window, if it can be demonstrated that the window would conflict with the interior architecture or conflict with windows on an adjoining home. The following items shall also be included in with Option 1:
 - i. The enhanced elevation must include at least two windows or one window and one doorway (may include rear covered patio).
 - j. The enhanced elevation shall have a minimum of two roof breaks to create a variation in roof massing.
 - k. The enhanced wall shall include at least one of the following elements.
 - i. Angled or box bay.
 - ii. Deck or balcony.
 6. Enhanced Elevation Option 2 shall mean the elevation shall have at least one window. All windows shall have shutters. The Town Planner may on a case by case basis, in his sole discretion waive the requirement for a window on any elevation, if it can be demonstrated that the window would conflict with the interior architecture or conflict with windows on an adjoining home. The following items shall also be included in with Option 2:
 - i. The enhanced elevation shall have a minimum of two roof breaks to create a variation in roof massing (may include rear covered patio).
 - j. Decorative gable end vent or vents.
 - k. The enhanced wall shall include at least one of the following elements.
 - i. Angled or box bay.
 - i. Deck or balcony.

Prepared For:

I & J Partnership

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COVER & NARRATIVE	
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NEIGHBORS POINT FILING NO. 7
COVER & NARRATIVE
 TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 4 of 16

7. The Final Development Plan's filing specific enhanced elevations table provided below identifies the architectural treatments required on the noted lots in this FDP Filing No. 7.

Lot Number	Elevations and Option Number		
	Right	Left	Rear
249	1		
250			2
251			2
252			2
253			2
254		2	
255			2
256			2
257			2
258			2
259			2
260		2	2
261	1		2
262			2
263			2
264			2
265			2
266			2
267			2
268		2	2
269	2		2
270			2
276		2	
277	1		
282		2	
283	2		
288		2	
343	2		
348		1	
349	2		
353		1	
356		2	

SETBACKS

Residential front and side loaded garages will be setback a minimum of 15-feet from the street right-of-way ("ROW"); side yards will have a setback minimum of 7-feet; rear yards shall be a setback minimum of 15-feet; corner lots shall be setback a total of 15-feet from street ROW. Minimum front setbacks to residences shall be 20-feet. No buildings shall be allowed to obstruct easements.

Refer to the table below for specific setback information.

Filing No. 7

Minimum Building Setback	Feet
Front	20
Rear	15
Side	7
Corner	15

- Architectural features such as eaves, fireplaces, bay windows, and cantilevers may encroach up to 30" into setbacks and building separation areas.
- Decks may be covered provided such cover does not extend into the building setbacks, however covered decks or patios 30" or less above grade may encroach into the rear setback by 8'.
- Uncovered decks or patios are permitted if they meet the following standards:
 - A deck or patio shall be no closer than 10 feet from the rear property line. Deck or patio setbacks shall be measured from the lot line to any portion of the deck or patio.
 - No deck or patio shall be constructed within the side setbacks or upon any established easement.
 - Decks shall be no greater than 30 inches in height unless the deck is constructed within the standard building setback.

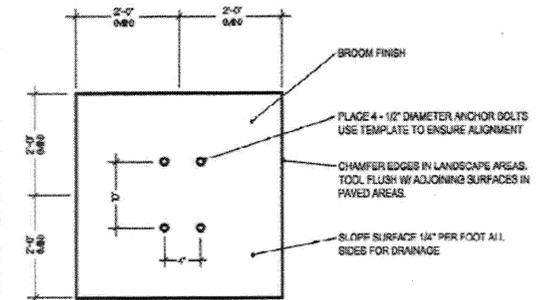
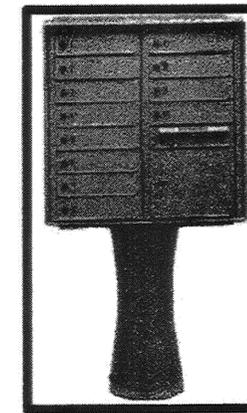
DEVELOPMENT SCHEDULE

Development of Neighbors Point, Filing 7 is expected to occur from the spring of 2018 to 2019. All fencing to be installed by the Builder/Developer must be completed prior to issuance of the C.O. for the adjacent lot. If development has not yet occurred this FDP will expire ten years from the date of recordation.

SIGN PROGRAM

The sign program is as specified herein for signs installed by the Owner/Developer. Individual residential lots shall conform to the Code.

12 UNIT MAILBOX



NOTES:

1. LOCATIONS TO BE DETERMINED BY THE US POST OFFICE.
2. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @28 DAYS. CONTAIN 4% MIN- 6% MAX AIR ENTRAINMENT AND BE PLACED WITH A 3 1/2"- 4 1/2" SLUMP IN ACCORDANCE WITH ACI 301.
3. ANCHOR BOLTS SHALL CONFORM TO ASTM A193.

Foundation Walls

Maximum amount of foundation wall permitted to be exposed above finished grade is 8".

Address Signs

Street addresses are to be prominently displayed in contrasting color plainly visible from the street.

Accessory Buildings

Each lot will be allowed a maximum of one accessory building that shall be set back at least five feet from any property line. Accessory buildings are not permitted in the front yards, side yards that face a public street, within utility easements or within oil and gas well setbacks. The square footage of the accessory building located on the ground shall be no larger than 200 square feet of floor area and may not exceed a height of twelve feet. Construction materials shall be similar to the primary building and must be constructed of durable, low maintenance materials, architecturally compatible and integrated with existing buildings and structures. Accessory buildings and facilities are to be screened, to the extent possible, from public streets and sidewalks, either by screening, landscaping, location or other techniques deemed sufficient. Drainage from the roof of the accessory building shall not be permitted to run off onto the property of another nor shall it run off into the foundation of the main structure.

Prepared For:

I & J Partnership

c/o Mr. Cameron Grant
 P.O. Box 978
 Longmont, CO 80502-0978
 (303) 776-9900 Fax (303) 776-9100

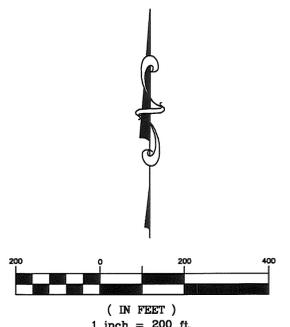
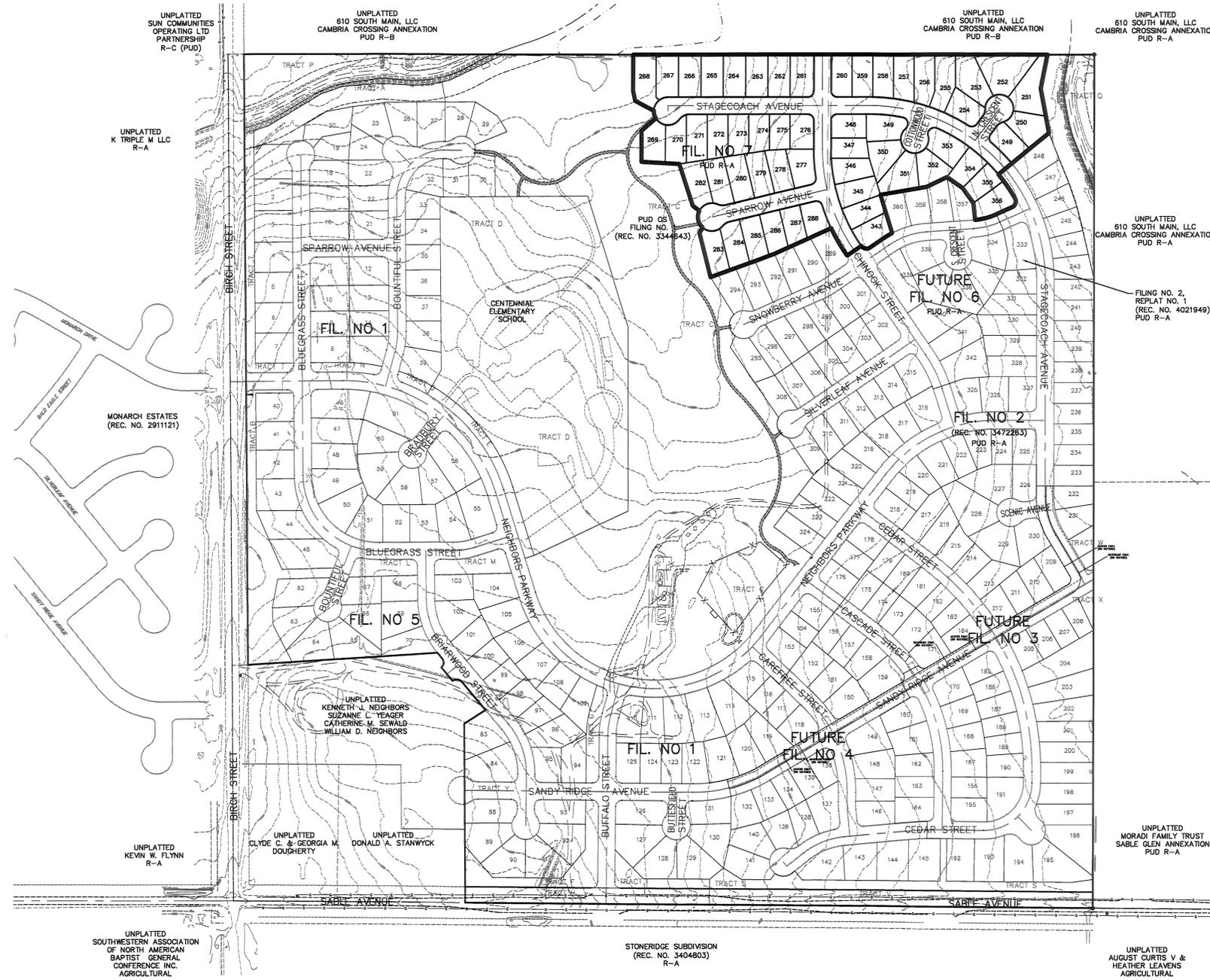
Prepared By:



Kirby Smith & Associates, Inc.
 Land Planning*Site Design*Landscape Architecture
 6201 So. Hudson Ct. Centennial, CO 80121
 (303) 694-9484 FAX (303) 694-9272

NEIGHBORS POINT FILING NO. 7 COVER & NARRATIVE	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Cover & Narrative
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

FINAL DEVELOPMENT PLAN
NEIGHBORS POINT FILING NO. 7
OVERALL PLAN
 TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 5 of 16



NEIGHBORS POINT FILING NO. 7 OVERALL PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Overall Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

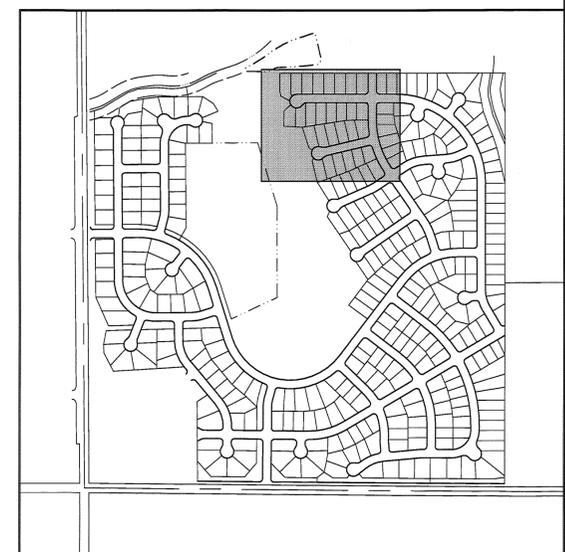
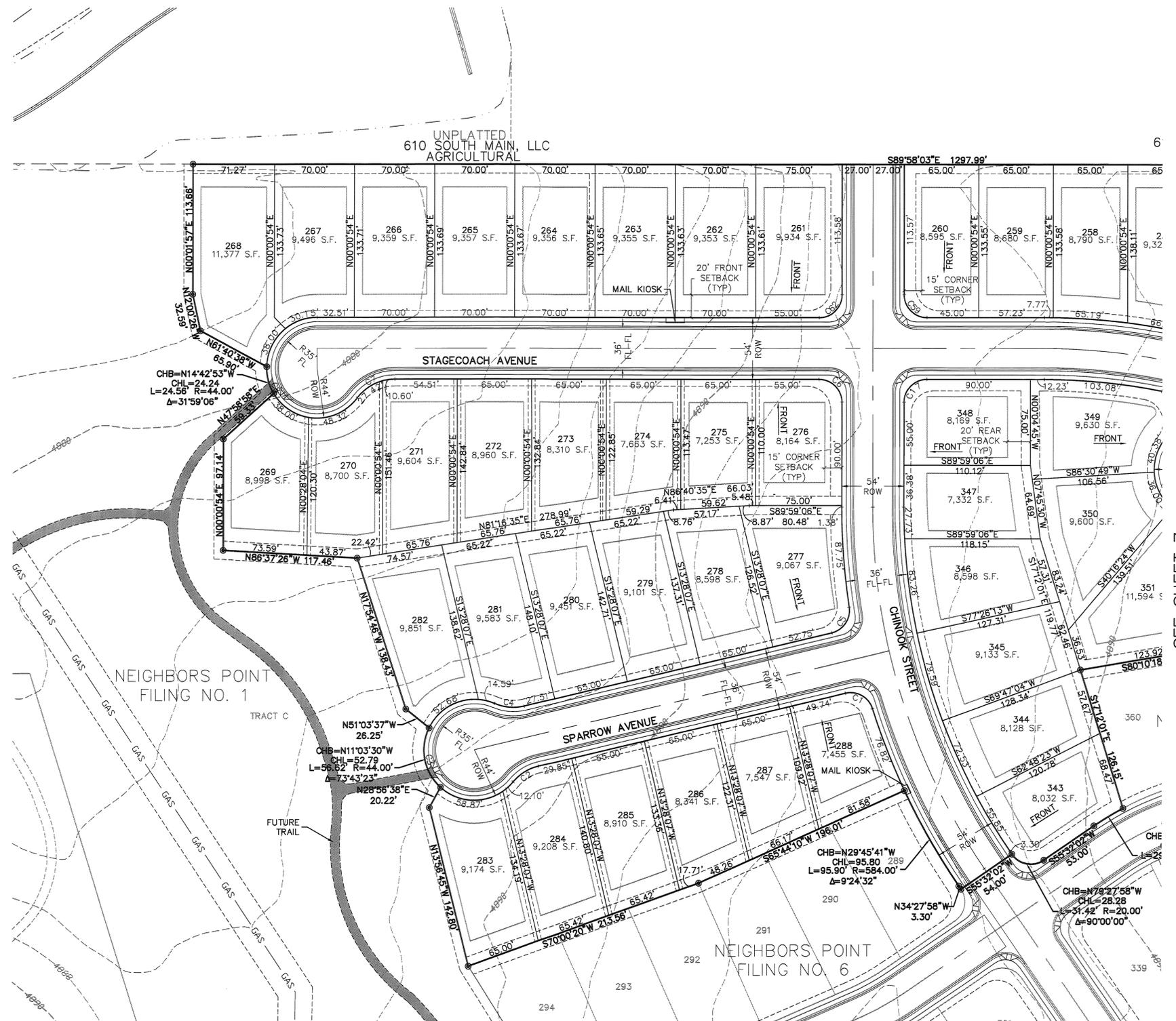
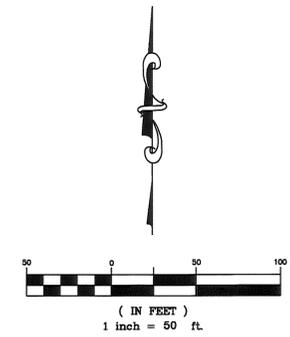
FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

SITE PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO

SHEET 6 of 16



KEY MAP
NTS

SEE SHEET 7

NEIGHBORS POINT FILING NO. 7 SITE PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Site Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

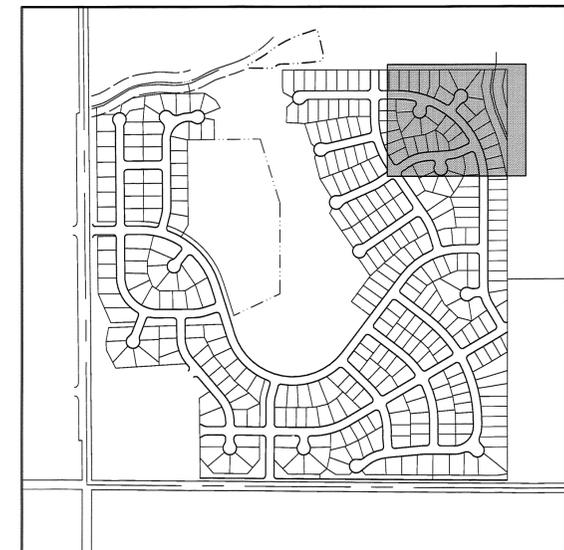
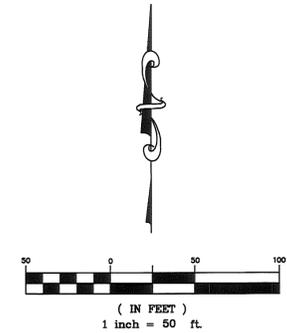
RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

SITE PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 7 of 16



KEY MAP
 NTS

NEIGHBORS POINT FILING NO. 7	
SITE PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Site Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
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RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
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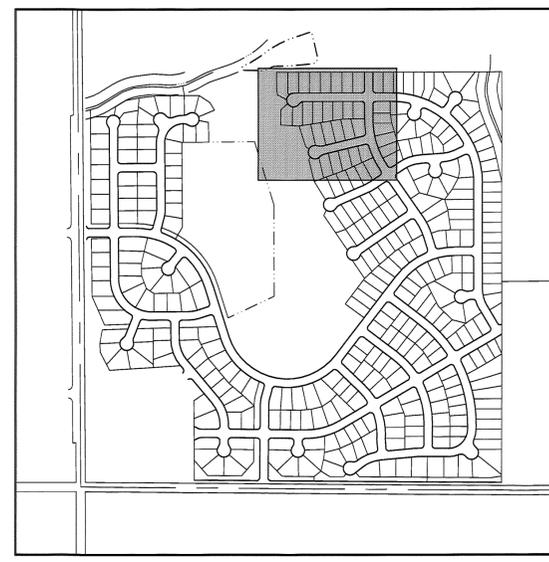
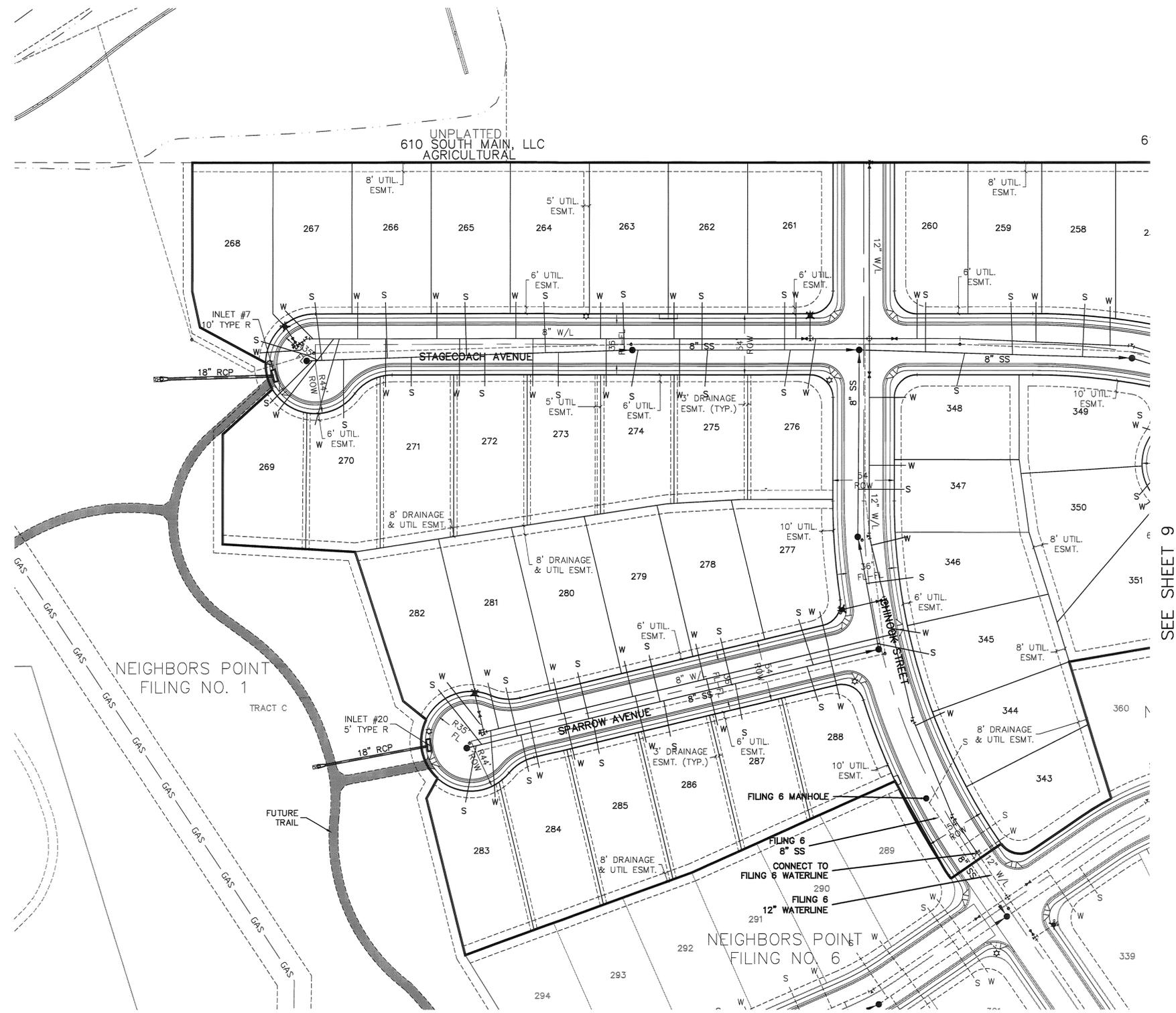
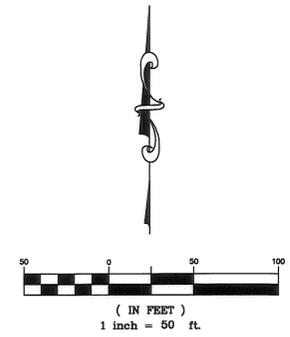
FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

UTILITY PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 8 of 16

LEGEND	
	FILING PROPERTY LINE
	PROPOSED WATER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SERVICE
	PROPOSED FIRE HYDRANT
	EASEMENT
	RIGHT OF WAY
	CROSSSPAN
	EXISTING GAS
	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	EXISTING STORM
	STREET LIGHT



KEY MAP
 NTS

SEE SHEET 9

NEIGHBORS POINT FILING NO. 7 UTILITY PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Site Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

FINAL DEVELOPMENT PLAN

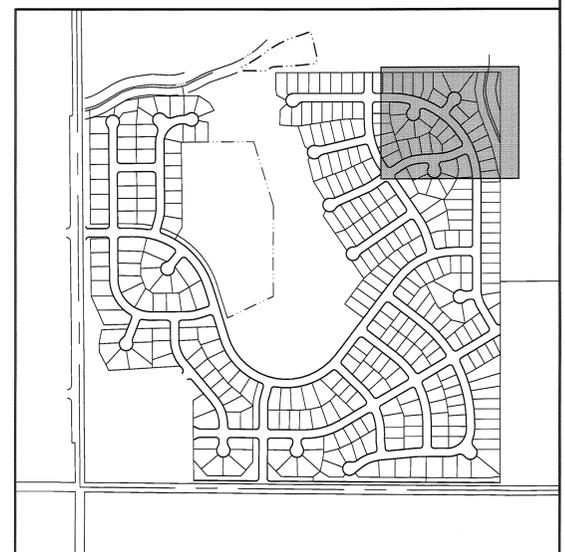
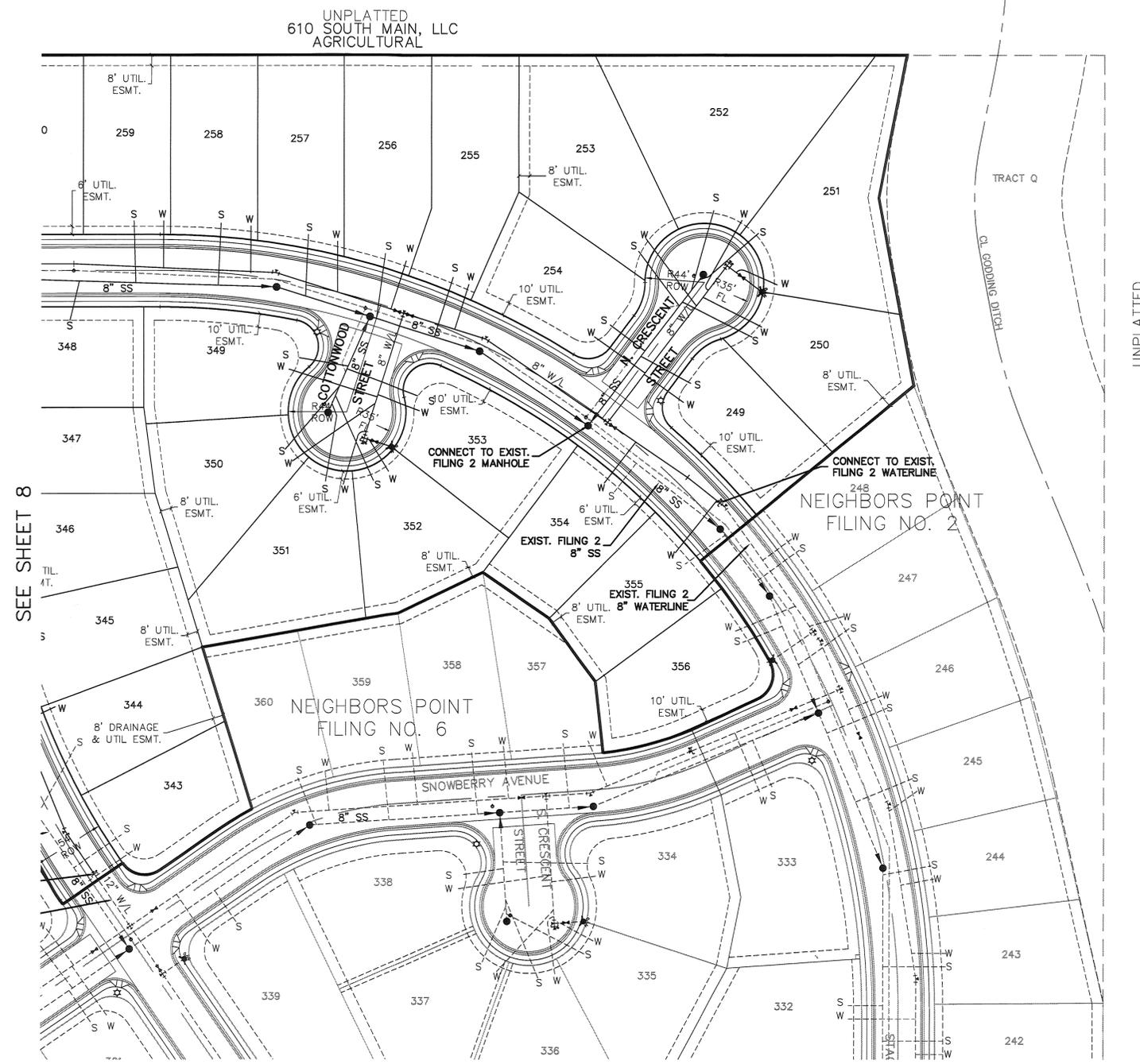
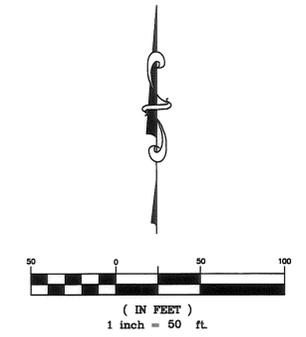
NEIGHBORS POINT FILING NO. 7

UTILITY PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 9 of 16

LEGEND

- FILING PROPERTY LINE
- PROPOSED WATER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED FIRE HYDRANT
- EASEMENT
- RIGHT OF WAY
- CROSSSPAN
- EXISTING GAS
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING STORM
- STREET LIGHT



KEY MAP
NTS

SEE SHEET 8

UNPLATTED

NEIGHBORS POINT FILING NO. 7 UTILITY PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Utility Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

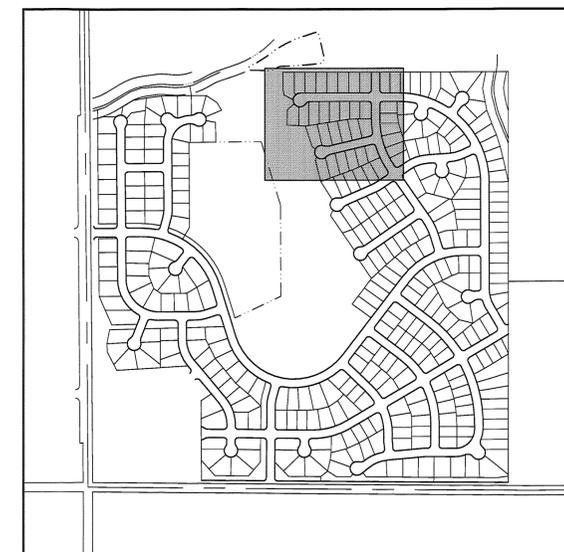
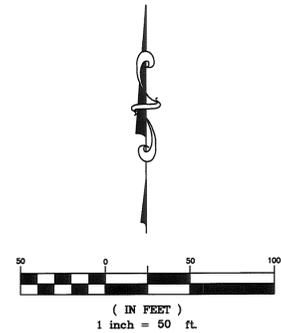
RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

GRADING PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 10 of 16



SEE SHEET 11

LEGEND

- 5488 PROPOSED CONTOURS
- 5488 EXISTING CONTOURS
- 95.1 PROPOSED TOP OF FOUNDATION ELEVATION
- A PROPOSED LOT GRADING TYPE

NOTES

1. GRADING AND ELEVATION INFORMATION IS SHOWN FOR REFERENCE ONLY. REFER TO THE APPROVED CONSTRUCTION PLANS FOR MORE INFORMATION.

KEY MAP
NTS

RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

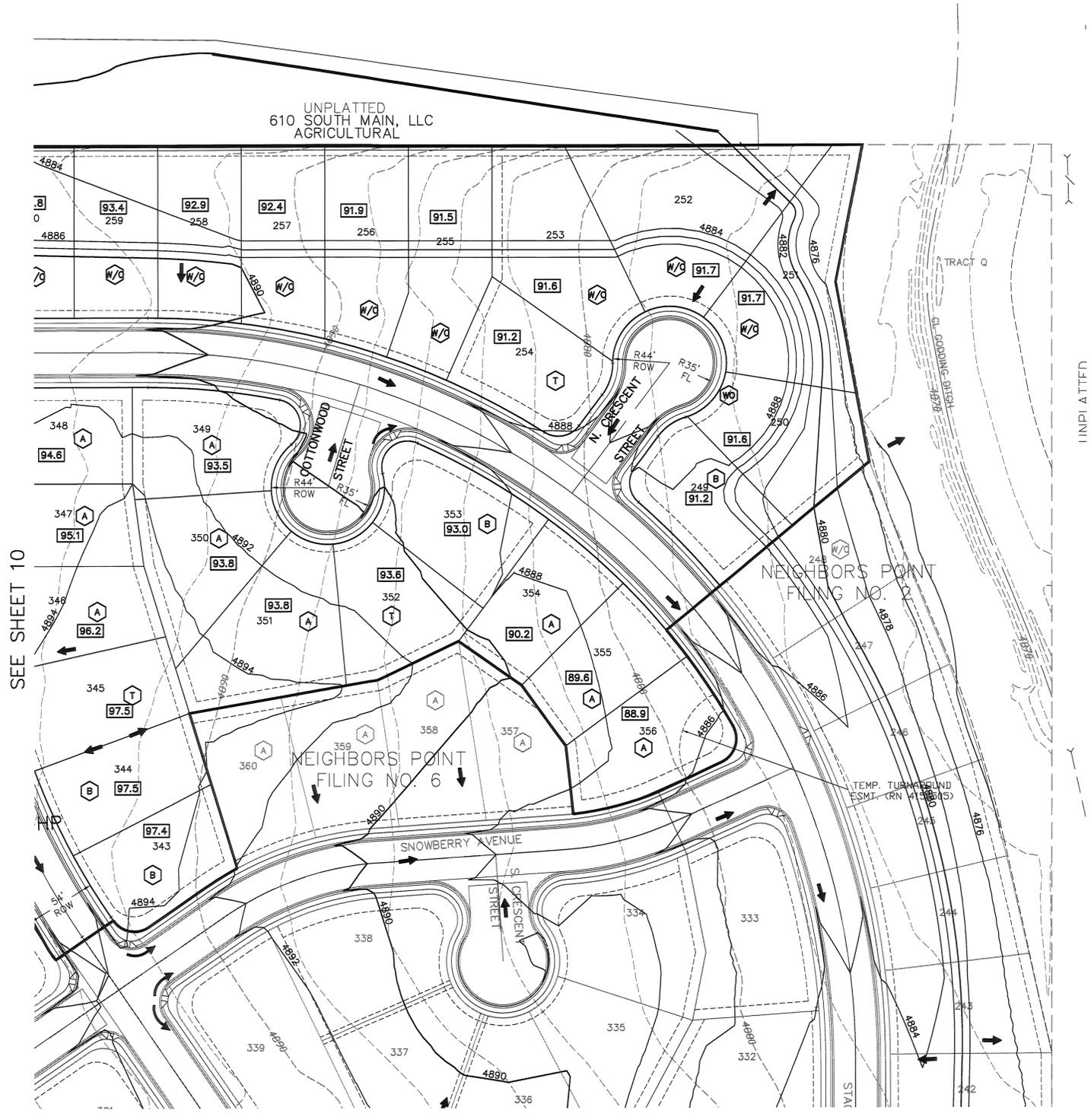
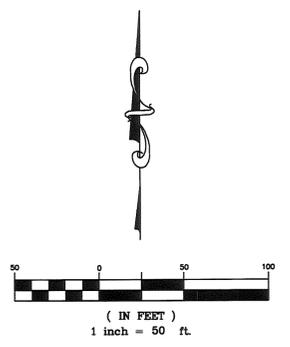
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Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Grading Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

FINAL DEVELOPMENT PLAN

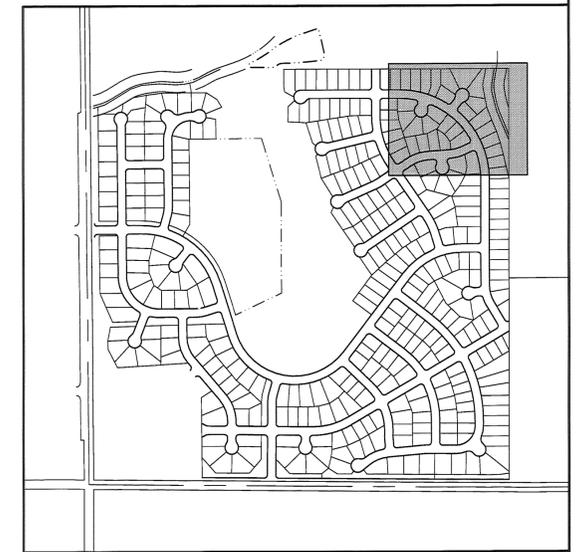
NEIGHBORS POINT FILING NO. 7

GRADING PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 11 of 16



SEE SHEET 10



- LEGEND**
- 5488 PROPOSED CONTOURS
 - 5488 EXISTING CONTOURS
 - 95.1 PROPOSED TOP OF FOUNDATION ELEVATION
 - A PROPOSED LOT GRADING TYPE

- NOTES**
- GRADING AND ELEVATION INFORMATION IS SHOWN FOR REFERENCE ONLY. REFER TO THE APPROVED CONSTRUCTION PLANS FOR MORE INFORMATION.

NEIGHBORS POINT FILING NO. 7 GRADING PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Grading Plan
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
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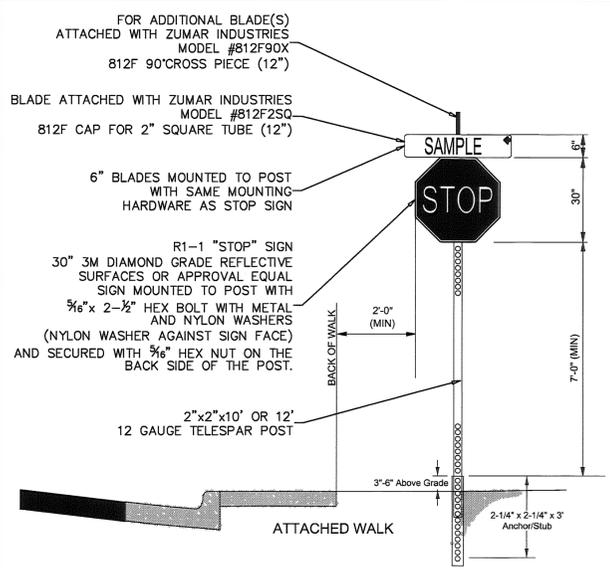
RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

FINAL DEVELOPMENT PLAN

NEIGHBORS POINT FILING NO. 7

SIGNAGE & LIGHTING PLAN

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 12 of 16



CRITERIA FOR SINGLE POST		
Max. Sign Panel	Base Sleeve	Post Size
36" x 36"	2.25" x 2.25" x 3'-0"	2" x 2" x 10'-0"
* 12 Gauge		

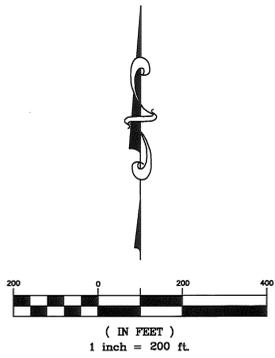
- NOTES:**
1. FOR DETACHED WALK THE EDGE OF THE SIGN SHALL BE SET A MINIMUM OF 2' FROM THE FLOWLINE.
 2. ATTACH THE SIGN PANELS TIGHTLY TO THE POST AND USE OVERSIZED WASHERS TO KEEP THE SIGN FROM BREAKING LOOSE FROM THE POST IF HIT BY A VEHICLE.
 3. SIGN PANELS SHOULD BE MOUNTED A MINIMUM OF 7 FEET ABOVE THE PAVEMENT OR GROUND.
 4. SIGNS LARGER THAN 36 INCHES IN LENGTH OR WIDTH REQUIRE WIND BRACING AND SPECIAL POST DESIGN.
 5. ANCHOR STUB AND POST ARE SQUARE STEEL TUBE (PERFORATED).
 6. CAPITAL LETTERS ON ROAD NAME BLADE SHALL BE 4" TALL AND LOWERCASE LETTERS SHALL BE 3" TALL.

RESIDENTIAL STOP SIGN AND ROAD NAME BLADE INSTALLATION DETAIL

STREET CONSTRUCTION DRAWINGS	BY: CCG	DRAWING
	SCALE: N.T.S.	ST-XX
	DATE: JAN 2014	



- LEGEND**
- ★ STREET LIGHT LOCATION
 - STOP SIGN (R1-1) & STREET SIGN (D3) LOCATION
 - MAIL KIOSK LOCATION



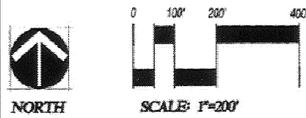
- NOTES:**
1. THIS PLAN SHOWS APPROXIMATE STREET LIGHT LOCATIONS. ALL STREET LIGHTS SHALL BE DOWNCAST AND PER TOWN OF FIRESTONE CRITERIA.
 2. REFER TO SHEET 4 FOR MAIL KIOSK INFORMATION

NEIGHBORS POINT FILING NO. 7 SIGNAGE & LIGHTING PLAN	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Signage & Lighting
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

RK ENTERPRISES, INC.
 CONTACT: BOB KELSEY, P.E.
 PHONE: 303-332-4977
 EMAIL: BKNGNR@GMAIL.COM

FINAL DEVELOPMENT PLAN
NEIGHBORS POINT FILING NO. 7
FENCING PLAN & DETAILS
 TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 13 of 16

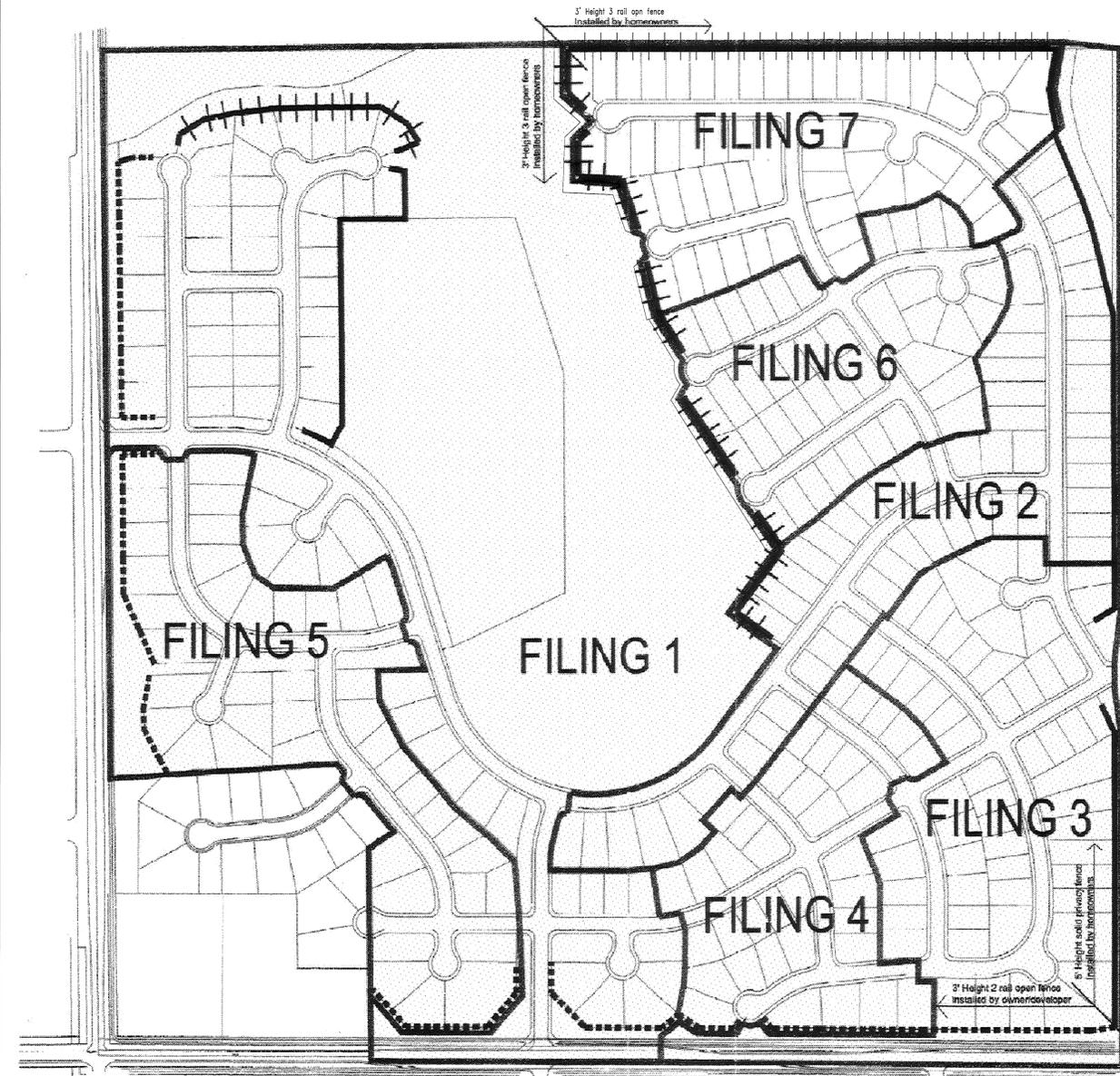
FENCING PLAN



FENCING LEGEND

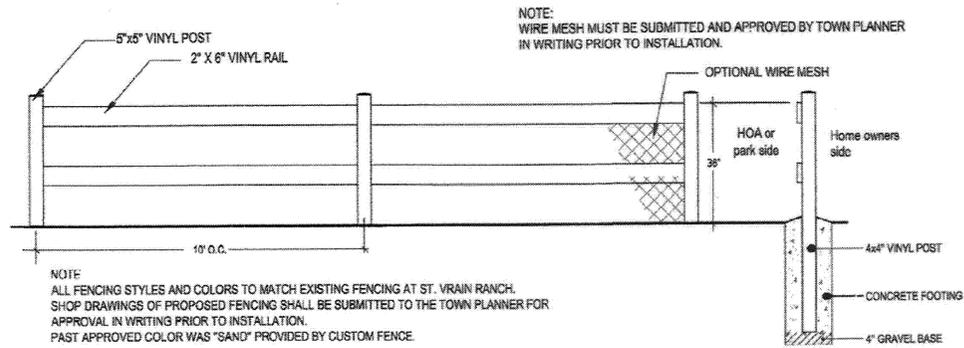
- 5' Height semi-privacy fence
Installed by homeowners
- 3' Height 3 rail open fence
Installed by owner/developer
- 3' Height 2 rail open fence
Installed by owner/developer

FILING PHASE LINE



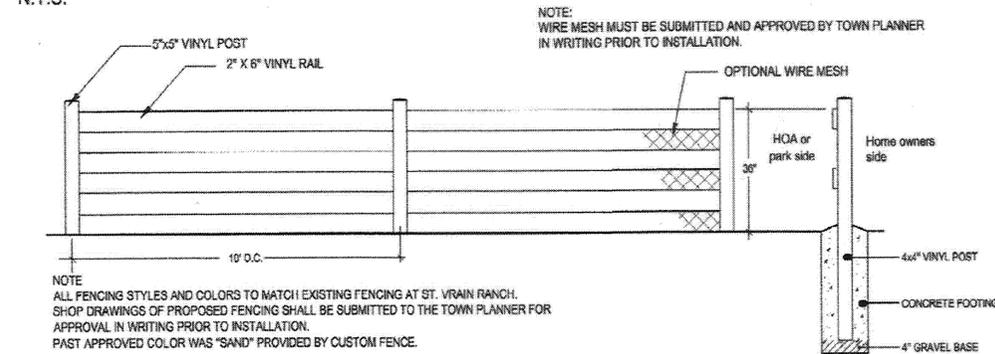
2 RAIL VINYL FENCE DETAIL

N.T.S.



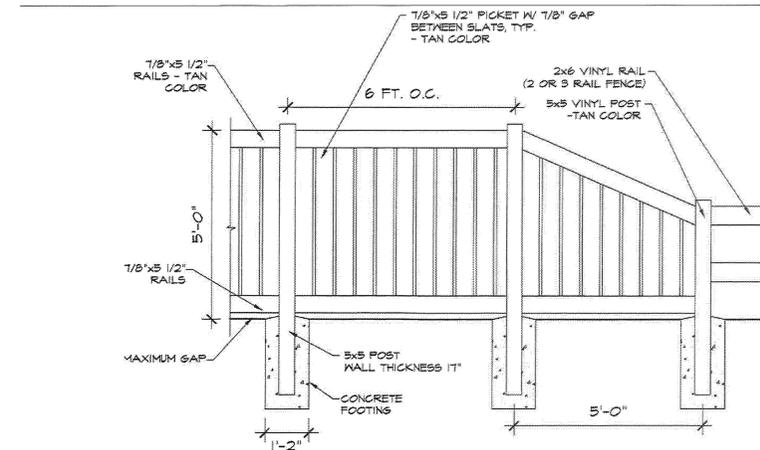
3 RAIL VINYL FENCE DETAIL

N.T.S.



5' HEIGHT SEMI-PRIVACY FENCE DETAIL WITH TRANSITION DETAIL

N.T.S.



NOTE:
 ALL FENCING STYLES AND COLORS TO MATCH EXISTING FENCING AT ST. VRAIN RANCH.
 SHOP DRAWINGS OF PROPOSED FENCING SHALL BE SUBMITTED TO THE TOWN PLANNER FOR
 APPROVAL IN WRITING PRIOR TO INSTALLATION.
 PAST APPROVED COLOR WAS "SAND" PROVIDED BY CUSTOM FENCE.

FENCING NOTES

Perimeter fencing shall be vinyl, and shall be open rail fencing or 5-foot height semi-privacy of consistent design. Fencing along Sable Ave. and Birch St. shall be installed by the builder/developer concurrent with the landscape construction of each filing. 3-rail fencing along Tract C shall be installed by builder/developer.

Interior fencing for individual single family lots shall also be vinyl and of a consistent design. Open 2-rail fencing shown on this sheet will be installed by the builder/developer, and may include optional wire mesh of a type approved by the Town Planner. Such fencing shall be installed prior to issuance of a Certificate of Occupancy for the adjoining lot. 5' height semi-privacy perimeter and rail open space fencing shall be installed by the builder/developer. Internal fencing will be installed by the homeowner.

The height of a semi-private perimeter and internal fencing shall be 5'. The height of open rail fencing shall be 3'. Where semi-private 5' height fence meets open 3' height fence, a tapered transition shall be installed.

All fencing shall be of an "off-white color" and final fencing material shall be reviewed and approved by the Town Planner in writing.

Prepared For:
I & J Partnership
 c/o Mr. Cameron Grant
 P.O. Box 978
 Longmont, CO 80502-0978
 (303) 776-9900 Fax (303) 776-9100

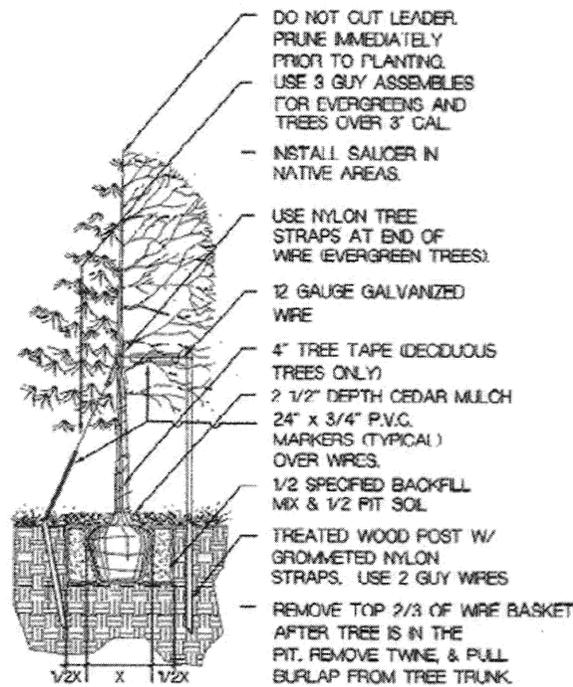
Prepared By:

 Kirby Smith & Associates, Inc.
 Land Planning • Site Design • Landscape Architecture
 6201 So. Hudson Ct. Centennial, CO 80121
 (303) 694-9484 FAX (303) 694-9272

NEIGHBORS POINT FILING NO. 7 FENCING PLAN & DETAILS	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Fencing Plan & Details
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Sheet 13 of 16	

TREE PLANTING DETAIL

N.T.S.



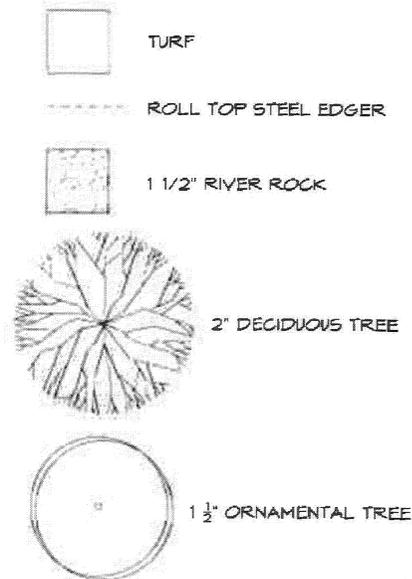
NOTE SET TOP OF ROOT BALL 2" TO 3" ABOVE SURROUNDING FINSH GRADE

FINAL DEVELOPMENT PLAN NEIGHBORS POINT FILING NO. 7

LANDSCAPE DETAILS

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 14 of 16

MULCH LEGEND



LANDSCAPE NOTES:

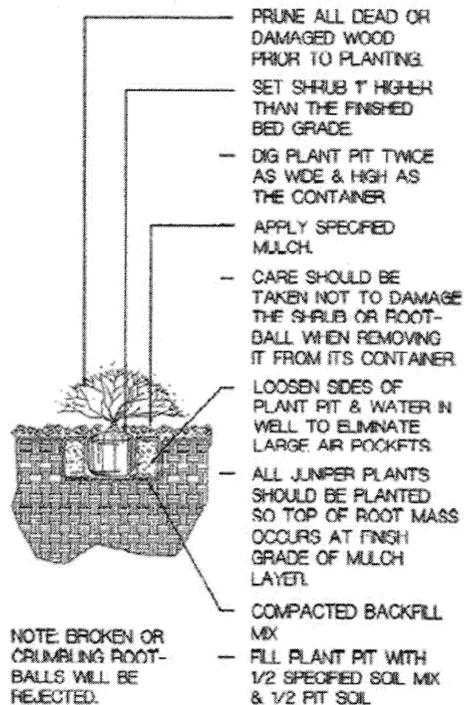
1. LANDSCAPE AND IRRIGATION TO COMPLY WITH APPLICABLE MUNICIPAL CODES, SPECIFICATIONS AND/OR DEVELOPMENT AGREEMENTS.
2. ALL TURF AREAS TO BE BLUEGRASS SOD MIX SUCH AS ENVIROTURF OR OTHER LOW WATER BLEND.
3. (3) CUBIC YARDS OF SOIL AMENDMENT PER 1,000 SF OF LANDSCAPE AREA TILLED TO A DEPTH OF 6". ALL BEDS TO BE MULCHED WITH 3" LAYER OF MULCH OVER WEED BARRIER FABRIC. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH A PERMANENT UNDERGROUND SYSTEM.
4. NON-SOD LANDSCAPE WILL BE DRIP IRRIGATED AND PLACED ON A SEPARATE ZONE FROM THE TURF AREAS.
5. EACH IRRIGATION SYSTEM IS TO HAVE A RAIN SENSOR.
6. ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH AMERICAN ASSOCIATION OF NURSERYMEN (AAN) SPECIFICATIONS FOR NUMBER ONE GRADE.
7. EDGING TO BE 4" ROLLED TOP, HOLE PUNCHED, GALVANIZED STEEL.
8. LANDSCAPE BERMS TO BE 24" - 36" IN HEIGHT. BERMS WILL NOT EFFECT EXISTING DRAINAGE PATTERNS OF LOT OR ADJACENT LOTS.
9. ALL BASE INFORMATION PROVIDED BY BUILDER. ANY SITE DISCREPANCIES TO BE ADDRESSED WITH BUILDER.
10. BACK YARDS, BY HOMEOWNERS OR BULDER WITH APPROVED ARCHITECTURAL DESIGN APPLICATION.

TYPICAL LOT LANDSCAPE PLAN

1. Minimum of 2 trees and 5 shrubs shall be provided.
2. All deciduous trees shall be minimum 2.0" caliper; Evergreens shall be minimum 6' height; and Shrubs shall be minimum 5 gallon containers.
3. All front and rear yards of single family residential developments shall be irrigated and seeded or sodded with bluegrass blend turf, and may also include irrigated shrub beds with rock or wood mulch types around the shrub/tree plantings.

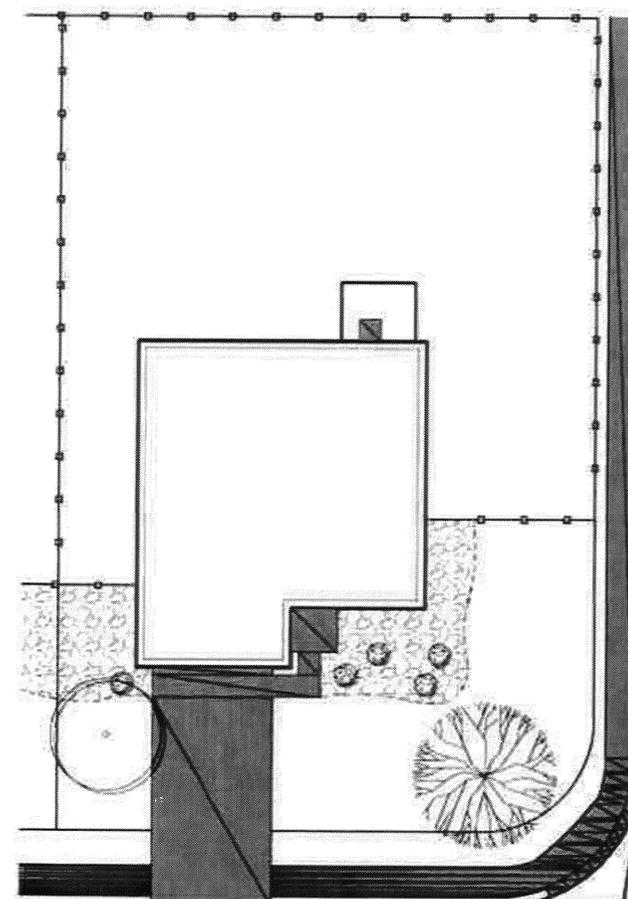
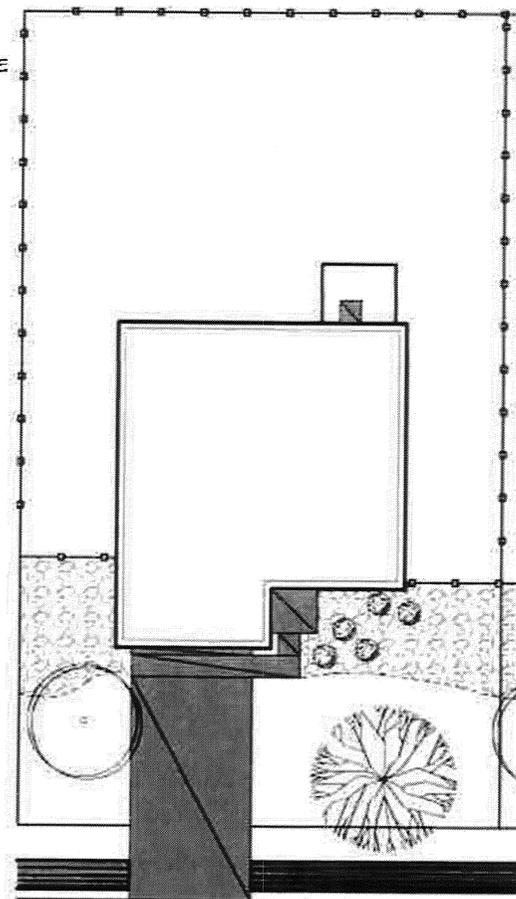
SHRUB PLANTING DETAIL

N.T.S.



TYPICAL INTERIOR LOT LANDSCAPE PLAN

TYPICAL CORNER LOT LANDSCAPE PLAN



Prepared For:
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 (303) 776-9900 Fax (303) 776-9100

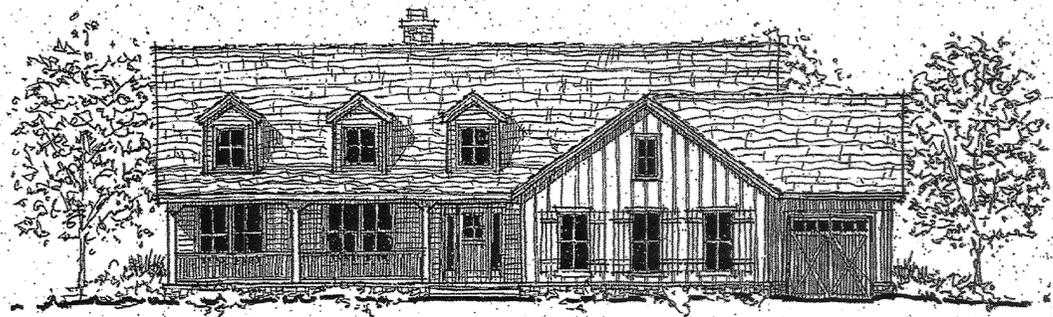
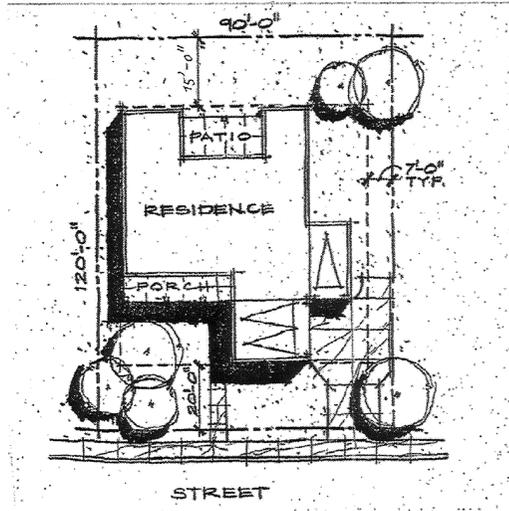


Kirby Smith & Associates, Inc.
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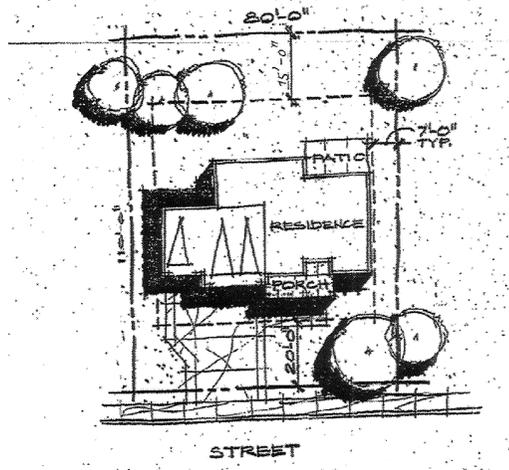
NEIGHBORS POINT FILING NO. 7	
LANDSCAPE DETAILS	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Landscape Details
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

FINAL DEVELOPMENT PLAN
NEIGHBORS POINT FILING NO. 7
 TYPICAL BUILDING ELEVATIONS
 TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 15 of 16

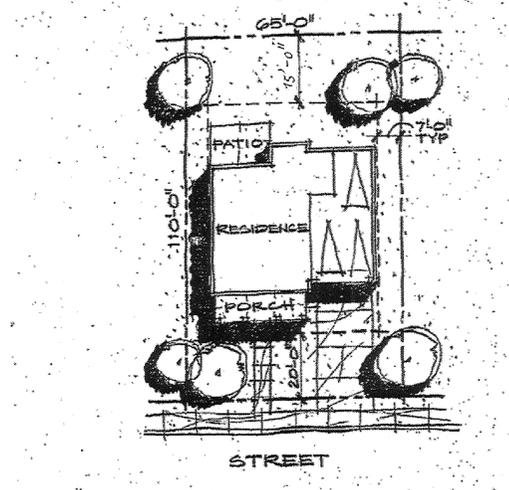
For Illustrative
 Purposes Only



90'-0" x 120'-0"



60'-0" x 110'-0"



65'-0" x 110'-0"

THE NEIGHBORS POINT
 FIRESTONE, COLORADO
 01.20.03

THE NEIGHBORS POINT
 FIRESTONE, COLORADO
 01.20.03



Prepared For:
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NEIGHBORS POINT FILING NO. 7	
TYPICAL BUILDING ELEVATIONS	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Typ. Building Elevations
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

FINAL DEVELOPMENT PLAN

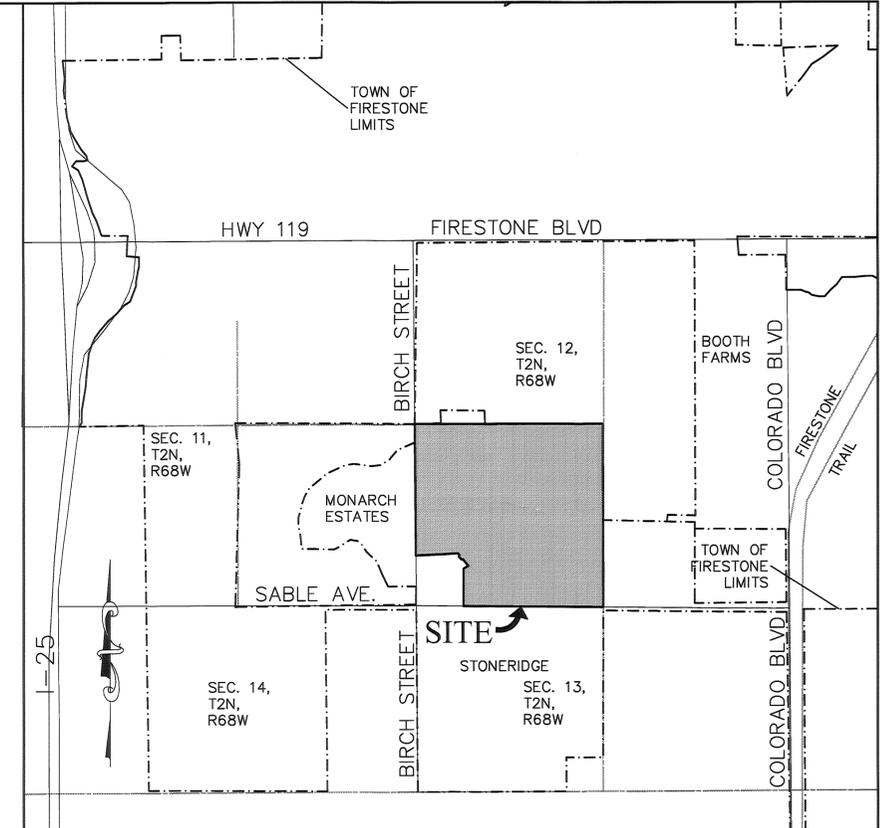
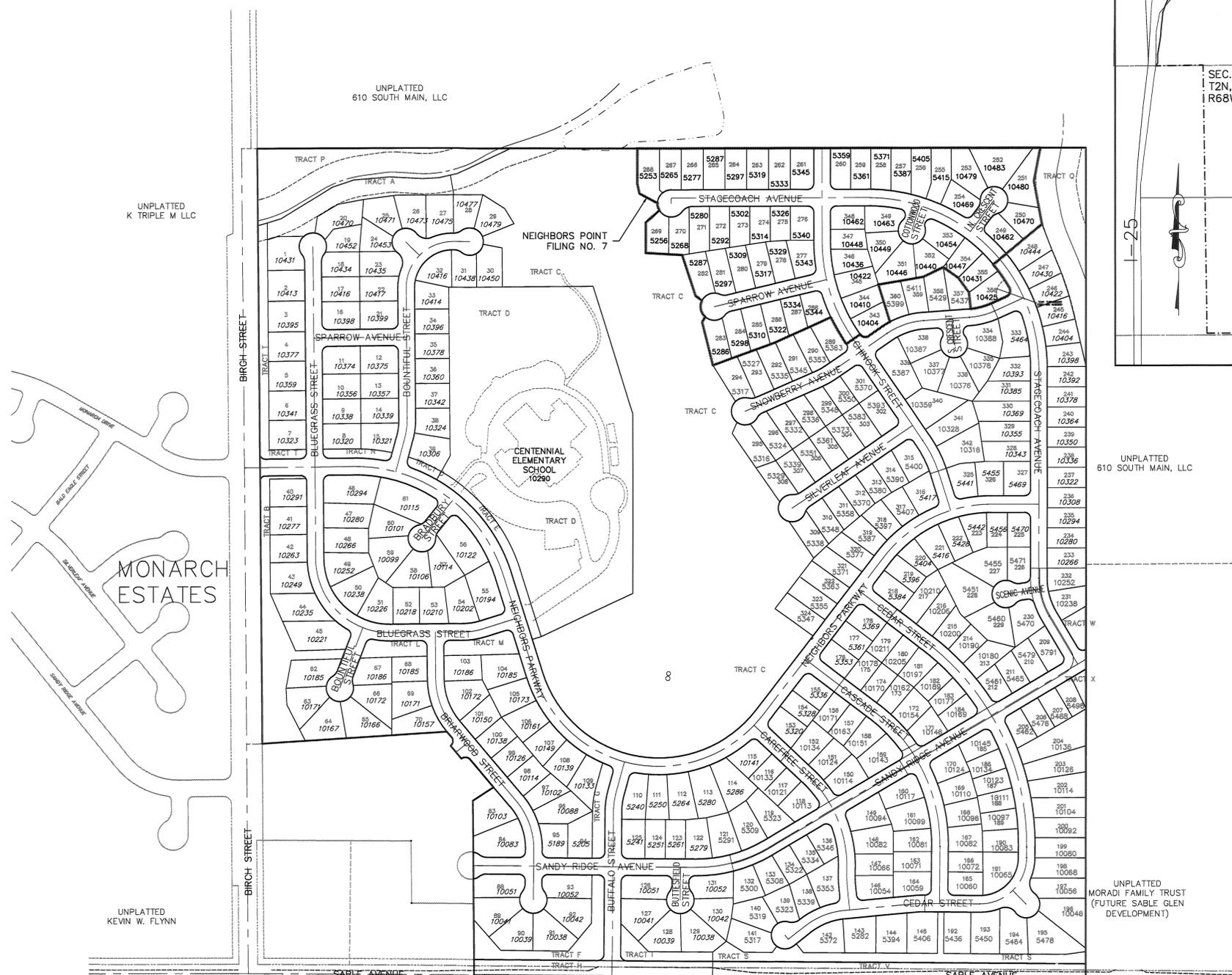
NEIGHBORS POINT FILING NO. 7

ADDRESS MAP

TOWN OF FIRESTONE, WELD COUNTY, STATE OF COLORADO
 SHEET 16 of 16

FILING 7 ADDRESSES

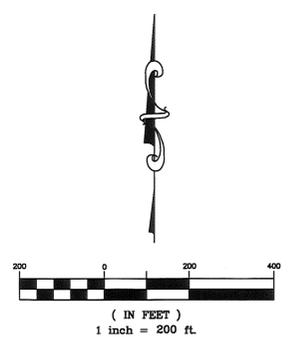
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VICINITY MAP
 1"=1200'

LEGEND
 5488 PROPOSED FILING ADDRESS NUMBER
 5488 EXISTING FILING ADDRESS NUMBER
 5468 FUTURE FILING ADDRESS NUMBER

NOTES
 1. EXISTING AND FUTURE FILING ADDRESSES ARE SHOWN FOR REFERENCE ONLY.



NEIGHBORS POINT FILING NO. 7 ADDRESS MAP	
Name of Submittal:	Neighbors Point
Type of Submittal:	Final Development Plan
Filing Number:	7
Phase Number:	
Sheet Title:	Address Map
Preparation Date:	July 13, 2017
Revision Date:	November 10, 2017
Revision Date:	April 5, 2018
Revision Date:	May 21, 2018
Revision Date:	

RK ENTERPRISES, INC.
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LEGEND
 5488 ADDRESS NUMBER